

BPS (www.plansinc.com) - GENERAL INFORMATION

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www.PLANSOURCE.com

a division of BUILDERS PlanSource, Inc.

PO Box 836; 151 Jefferson Church Road; Suite 101

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Ph: (336) 985-0363 Fax: (336) 985-0884



BUILDER
JLJ SERVICES, LLC

PO BOX 573
PAGELAND, SC 29728
843-337-8268

OWNER

PLAN NAME

MV461302-RH
Elevation A

ISSUE DATE
05/27/08

REVISION DATE
05/26/09

DRAWN BY:
DKR

CHECKED BY:
JUT

STANDARD SCALE
1/4" = 1'-0"
22544 1/4"-1'-0"

SHEET NUMBER

cover

NOTES

DESIGN LOADS (R301.4)	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
ROOMS OTHER THAN SLEEPING ROOMS	40	10	L/360
SLEEPING ROOMS	30	10	L/360
ATTIC WITH STORAGE	20	10	L/240
ATTIC WITH OUT STORAGE	10	10	L/360
STAIRS	40	--	L/360
EXTERIOR BALCONIES	60	10	L/360
DECKS	40	10	L/360
GUARDRAILS AND HANDRAILS	200	--	----
PASSENGER VEHICLE GARAGES	50	10	L/360
FIRE ESCAPES	40	10	L/360
SNOW	20	--	----
WIND LOAD	(BASED ON 90 MPH WIND VELOCITY & EXPOSURE B)		

FOR WALL BRACING REQUIREMENTS REFER TO SECTION R602.10 OF THE NORTH CAROLINA STATE RESIDENTIAL CODE - 2012 EDITION (I.N.O.) LATERAL BRACING SHALL BE SATISFIED BY CONTINUOUSLY SHEATHING WALLS WITH STRUCTURAL SHEATHING INSTALLED PER TABLE R602.10.3. NOTE THAT ANY SPECIFIC BRACED WALL DETAIL SHALL BE INSTALLED AS SPECIFIED.

CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (I.N.O.). AIR ENTRAINMENT PER TABLE 402.2

ALL FRAMING LUMBER SHALL BE SPF #2 (F_b = 875 PSI) UNLESS NOTED OTHERWISE (I.N.O.)

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INSTALL ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS

BRICK LINTELS SHALL BE 3 1/2"x3 1/2"x1/4" STEEL ANGLE FOR UP TO 6'-0" SPAN AND 6"x4"x5/16" STEEL ANGLE WITH 6" LEG VERTICAL FOR SPANS UP TO 9'-0" (I.N.O.)

THE POSITIVE AND NEGATIVE DESIGN PRESSURE FOR DOORS AND WINDOWS FOR A MEAN ROOF HEIGHT OF 35 FEET OR LESS SHALL BE 25 PSF.

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34.8 PSF - 2.25:12 TO 7:12 PITCH
21 PSF - 7:12 TO 12:12 PITCH

WALLS:
24.1 PSF - WALLS

PRESCRIPTIVE COMPLIANCE (FENESTRATION) FOR DOORS AND WINDOWS

GROSS AREA OF EXTERIOR WALLS	1248 SQFT.
NOMINAL AREA OF UNGLAZED DOORS	20 SQFT.
NOMINAL AREA OF DOORS WITH GLAZING	40 SQFT.
NOMINAL AREA OF WINDOWS	114 SQFT.
TOTAL NOMINAL AREA OF DOORS & WINDOWS	192 SQFT.
% OF DOOR AND WINDOW OPENINGS	15.34 %

PLAN REFERENCES

DOOR AND WINDOW TAGS
DOOR AND WINDOW TAGS ARE NOTED IN FEET AND INCHES. THEREFORE, THE FIRST TWO NUMBERS REPRESENT THE WIDTH IN FEET AND INCHES. THE LAST TWO NUMBERS REPRESENT THE HEIGHT IN FEET AND INCHES. FOR EXAMPLE, IF THE WINDOW IS NOTED AS 3'05", THE NOMINAL SIZE OF THAT WINDOW IS 3'-0" WIDE BY 5'-2" HIGH. THE SAME SHALL BE TRUE FOR ALL DOORS, WINDOWS, TRANSOMS, SHEETROCK OPENINGS, ETC.

WALLS
SEE ELEVATION DRAWINGS FOR WALL PLATE HEIGHTS AND WINDOW AND DOOR HEADER HEIGHTS. ALL DIMENSIONS ON THE FLOOR PLANS ARE TO THE FRAMING MEMBER AND DOES NOT TAKE INTO ACCOUNT ANY FINISHED WALL MATERIALS SUCH AS BRICK VENEER, DRYWALL, STONE, ETC. ALL BEARING WALLS SHALL BE A MINIMUM OF 2x4 STUDS AT 16" O.C. AND IN BASEMENT OR BOTTOM FLOOR OF A THREE STORY HOME THE STUD SIZE AND SPACING MAY CHANGE ACCORDING TO YOUR LOCAL AND STATE CODE REQUIREMENTS.

FLOOR FRAMING
THESE PLANS ARE SETUP FOR AN ENGINEERED WOOD/TRUSS SYSTEM. DIRECTION OF JOISTS/TRUSSES ARE NOTED ON EACH FLOOR HOWEVER THE SPACING AND DEPTH WILL BE ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. FIRST FLOOR FRAMING ON A CRAWL SPACE MAY BE SET UP FOR CONVENTIONAL LUMBER THIS RESULTING IN SHORTER JOIST SPANS. THE BUILDER SHOULD VERIFY SPANS AND LUMBER SIZES BASED ON THE LOCAL AND STATE CODE.

ROOF
THESE PLANS ARE SETUP FOR ROOF TRUSSES. THE ROOF PLAN WILL SHOW THE ROOF TRUSS DIRECTION BUT THE ACTUAL SHOULD BE IN ACCORDANCE WITH THE MANUFACTURER'S LAYOUT AND SPECIFICATIONS. ALL ROOFS ARE INTENDED TO HAVE THE ROOF TRUSSES BEAR ON OUTSIDE WALLS OR GARAGE INTERIOR WALLS ONLY UNLESS OTHERWISE NOTED.



PLAN MODEL

MV461302-RH

Elevation A

SQUARE FOOTAGE ANALYSIS

HABITABLE AREAS				OTHER AREAS	
SPECIFIED AREA	SF INSIDE OF STUDS	SF OUTSIDE OF STUDS	APPRAISABLE SF	SPECIFIED AREA	SQUARE FOOTAGE
FIRST FLOOR	1250	1302	1302	2-CAR GARAGE	400
SECOND FLOOR	N/A	N/A	N/A	REAR PATIO	100
TOTAL SF	1250	1302	1302		

APPRAISABLE SF INCLUDES BRICK VENEER IF APPLICABLE

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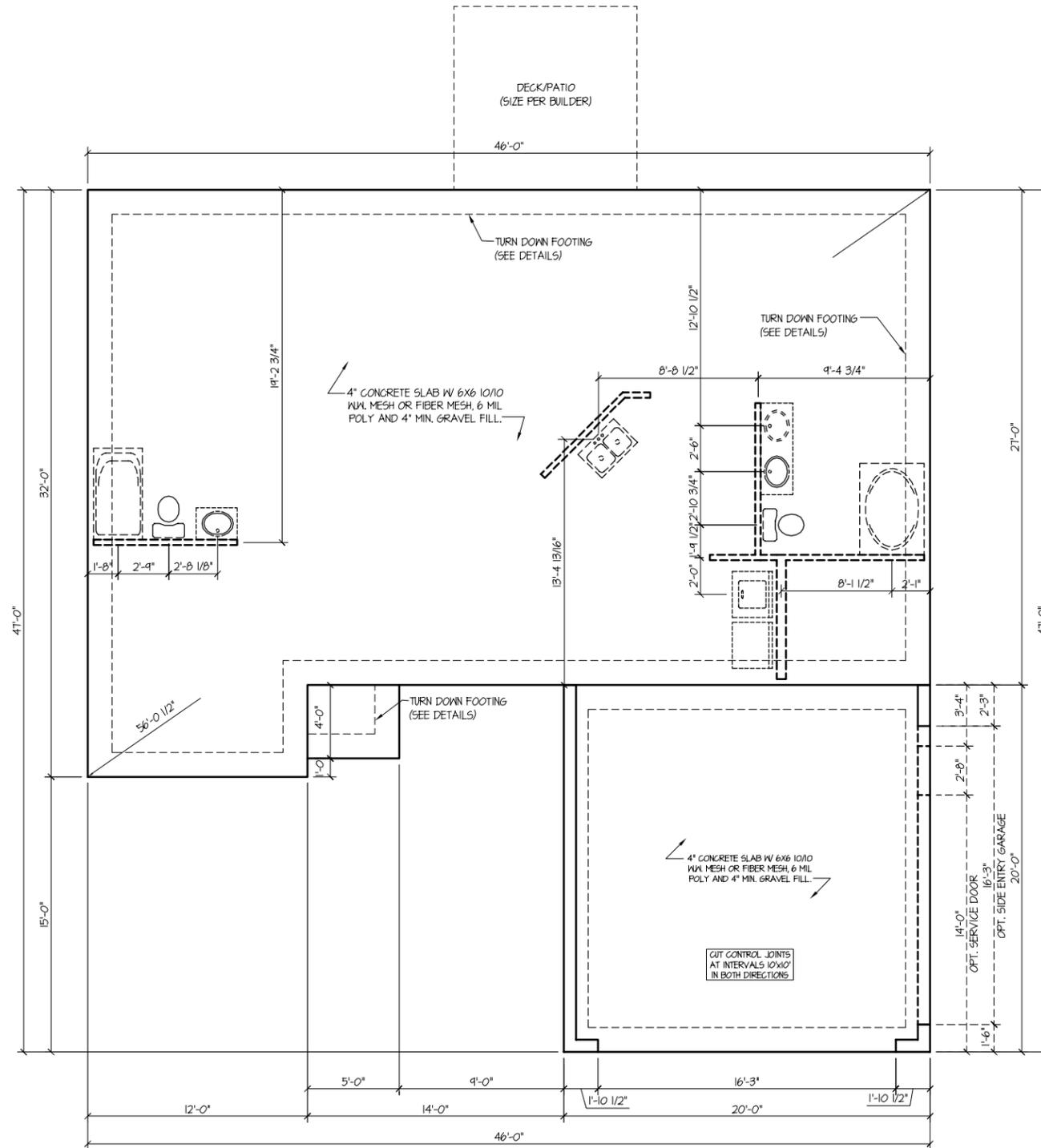
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24.1 PSF - WALLS



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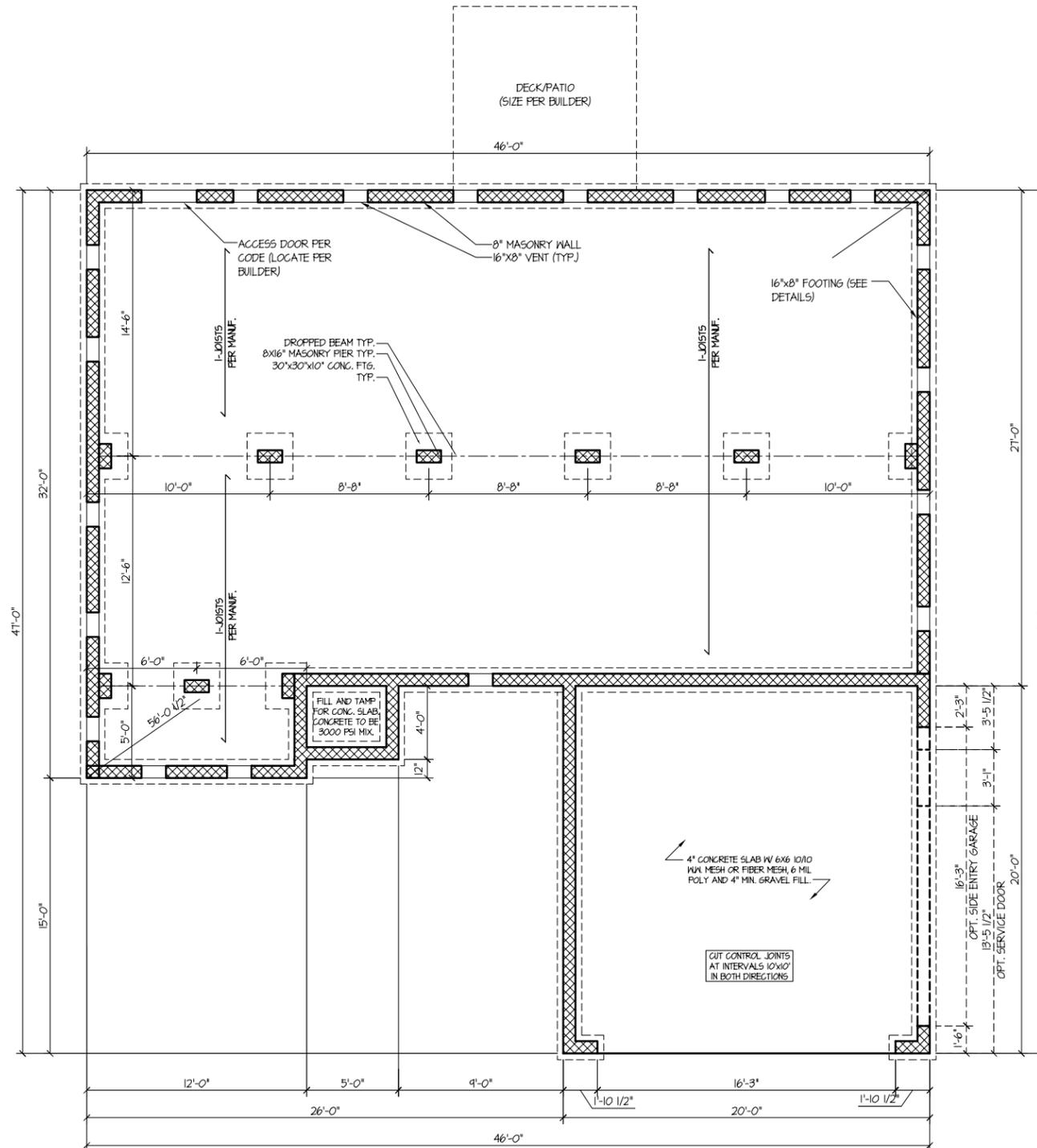
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24.1 PSF - WALLS



CRANFL SPACE VENTILATION CALCS.
PER SECTION R408 (PER LOCAL BUILDING CODE)

PROVIDE 6 MIL. POLY VAPOR BARRIER TO COVER 100% OF CRANFL SPACE AREA
PROVIDE A VENT 3" FROM EACH CORNER

1 GROSS CRANFL SPACE AREA (WITH ALL OPTIONS)	1302.5F.
TOTAL VENTING REQD. (1/500 OF GROSS CRANFL AREA)	0.00061 x GROSS CRANFL AREA
VENTING PROVIDED:	
8" x 16" MASONRY VENTS	14
VENTING AREA PER VENT (47.5q. FL.)	0.495F.
NET VENTING AREA	0.495F.
TOTAL NET VENTING AREA PROVIDED	0.495F.

VENTING REQUIREMENTS WITH CROSS VENTILATION

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TOTAL VENTING REQD. (1/500 OF GROSS CRANFL AREA)	0.00061 x GROSS CRANFL AREA
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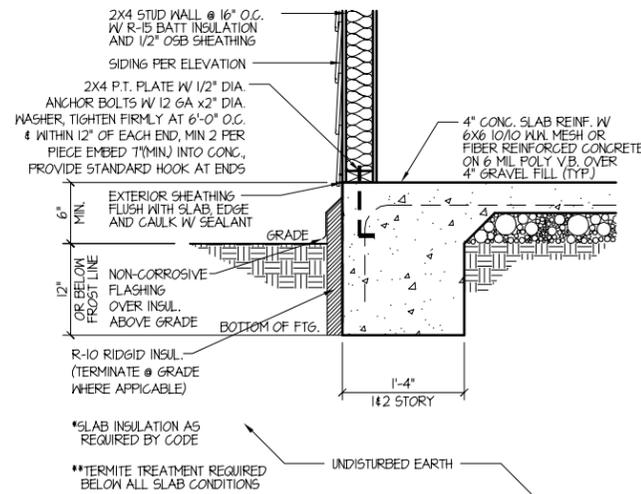
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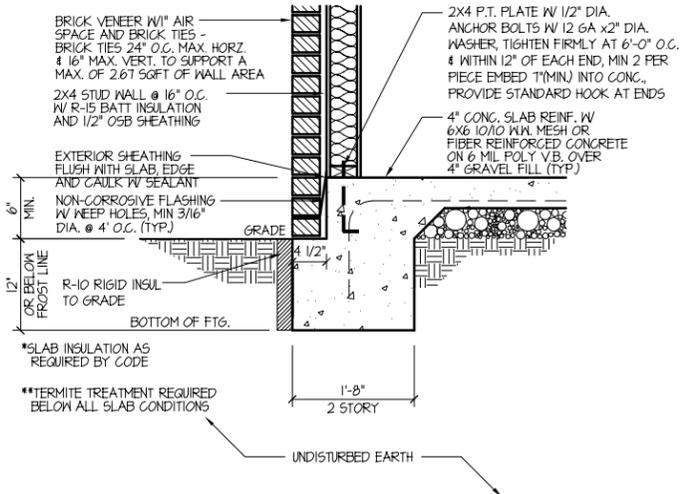
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STANDARD SCALE
1/8" = 1'-0"
22544 1/4"-1'-0"

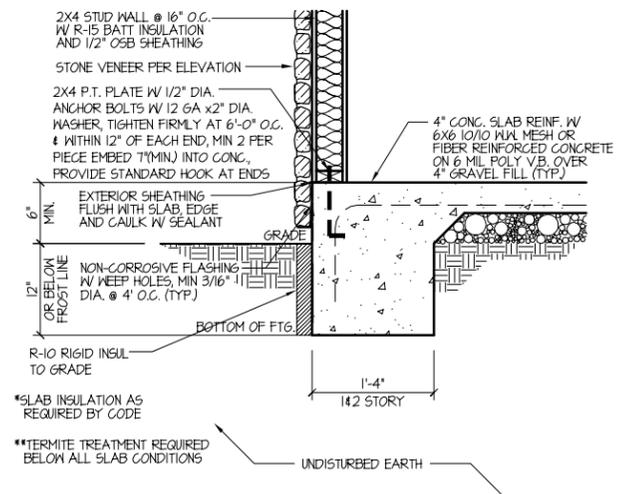
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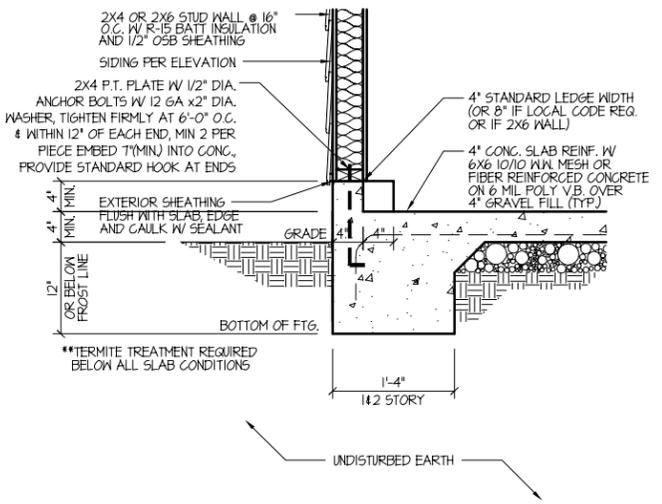
1 MONO @ HOUSE W/ SIDING



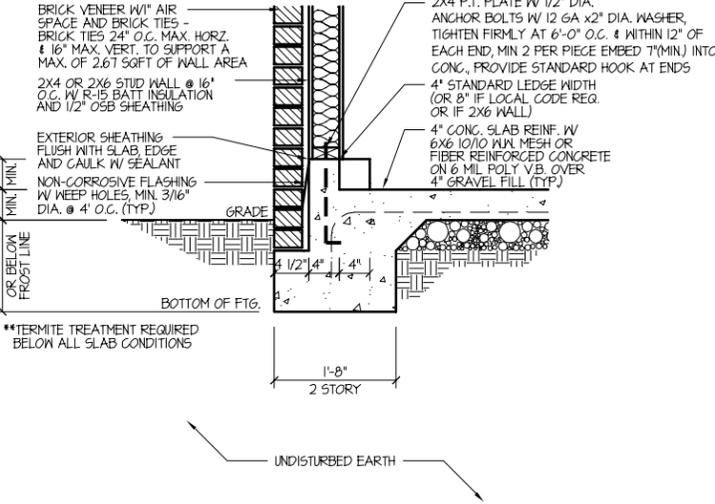
2 MONO @ HOUSE W/ BRICK



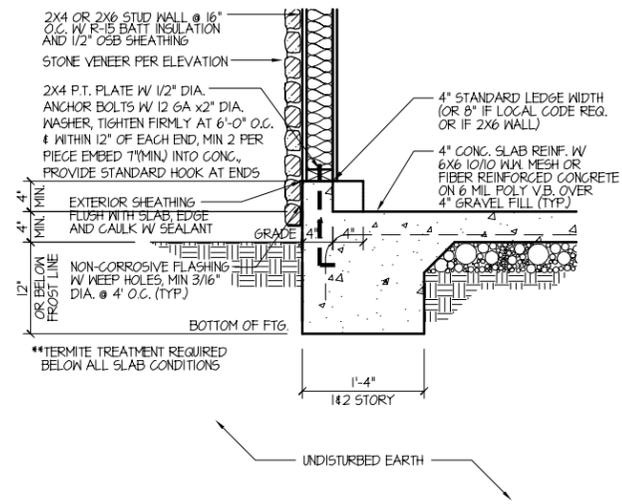
3 MONO @ HOUSE W/ STONE



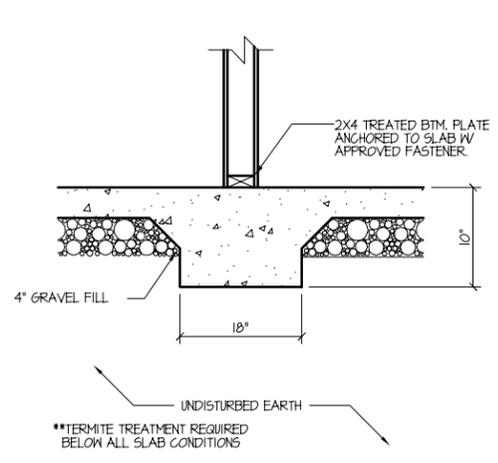
4 MONO @ GARAGE W/ SIDING



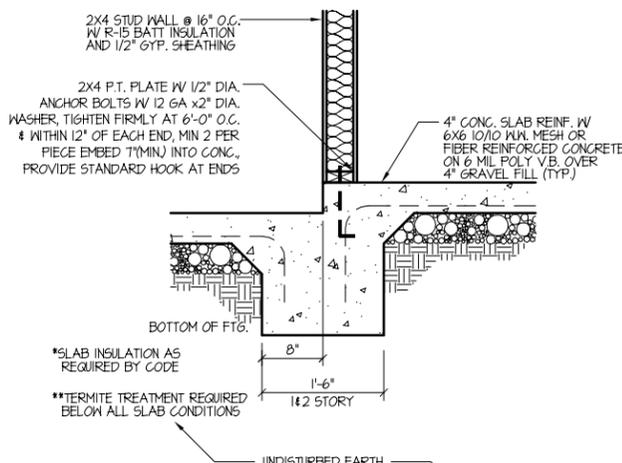
5 MONO @ GARAGE W/ BRICK



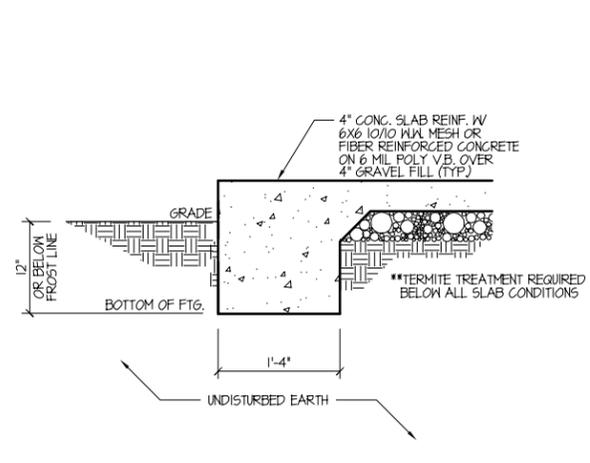
6 MONO @ GARAGE W/ STONE



7 THICKENED SLAB



8 MONO @ HOUSE/GARAGE



9 PORCH TURN DOWN

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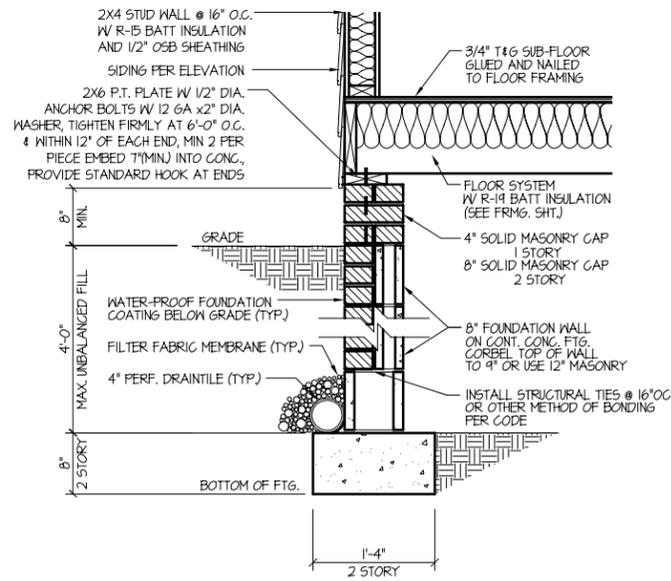
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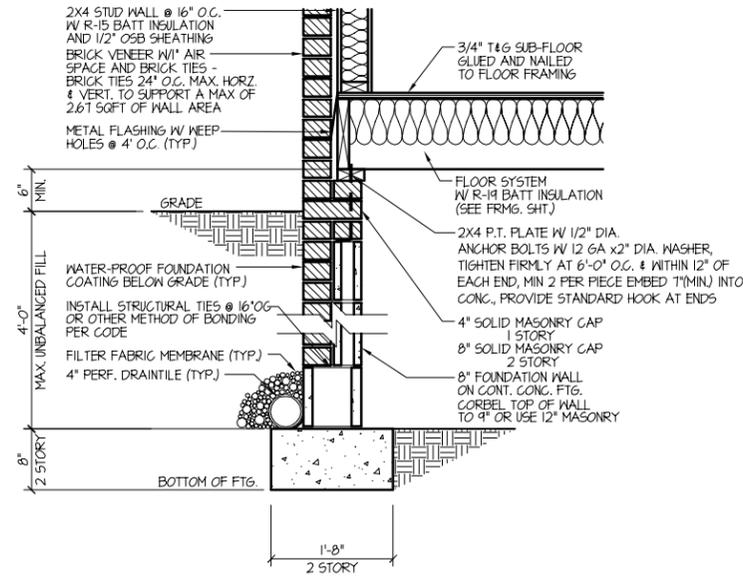
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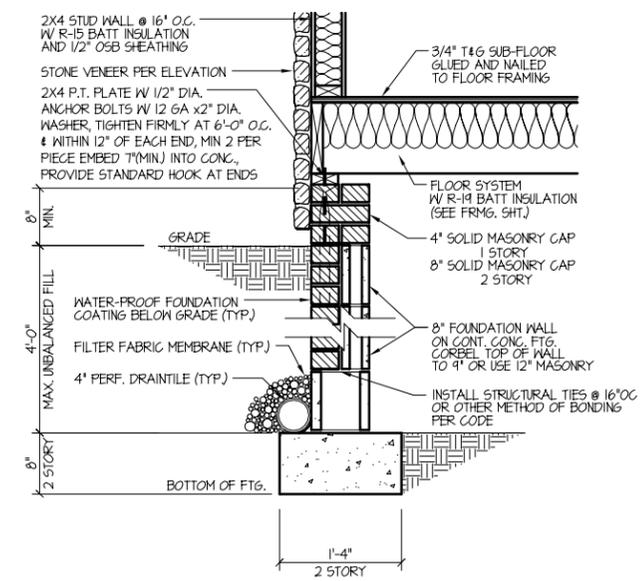
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2.10



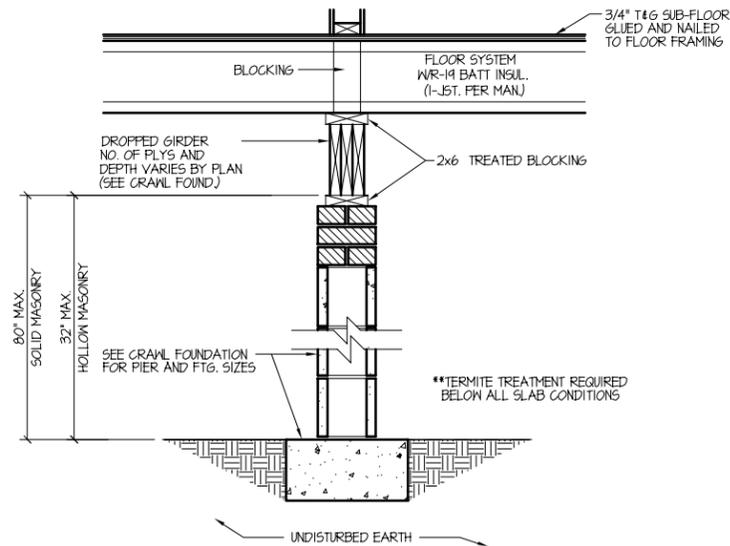
1 CRAWL SPACE W/ SIDING



2 CRAWL SPACE W/ BRICK



3 CRAWL SPACE W/ STONE



4 CRAWL SPACE DROPPED BEAM / PIER

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(1) 2x4 STUD COLUMN FOR 6'-0" MAX. BEAM SPAN, MINIMUM (2) STUDS FOR BEAM SPAN GREATER THAN 6'-0" (UNO). ALL BEARING HEADERS AND HEADERS OVER 6'-0" IN LENGTH SHALL BE (2) 2x10'S (UNO). SEE PLAN FOR SPECIFIC BEAM SIZES

L.V.L. SHALL BE LAMINATED VENEER LUMBER OR PARALLEL STRAND LUMBER (PSL) WITH THE FOLLOWING PROPERTIES: Fb = 2800 PSI, Fv = 285 PSI, E = 1,900,000 PSI.

INSTALL ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS.

BRICK LINTELS SHALL BE 3 1/2"x3 1/2"x1/4" STEEL ANGLE FOR UP TO 6'-0" SPAN AND 6"x4"x5/16" STEEL ANGLE WITH 6" LEG VERTICAL FOR SPANS UP TO 9'-0" (UNO).

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ROOF:

- 45.4 PSF - 2.25:12 PITCH OR LESS
- 34.8 PSF - 2.25:12 TO 7:12 PITCH
- 21 PSF - 7:12 TO 12:12 PITCH

WALLS:

- 24.1 PSF - WALLS

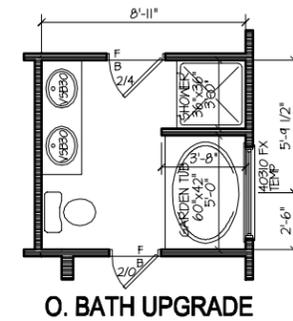
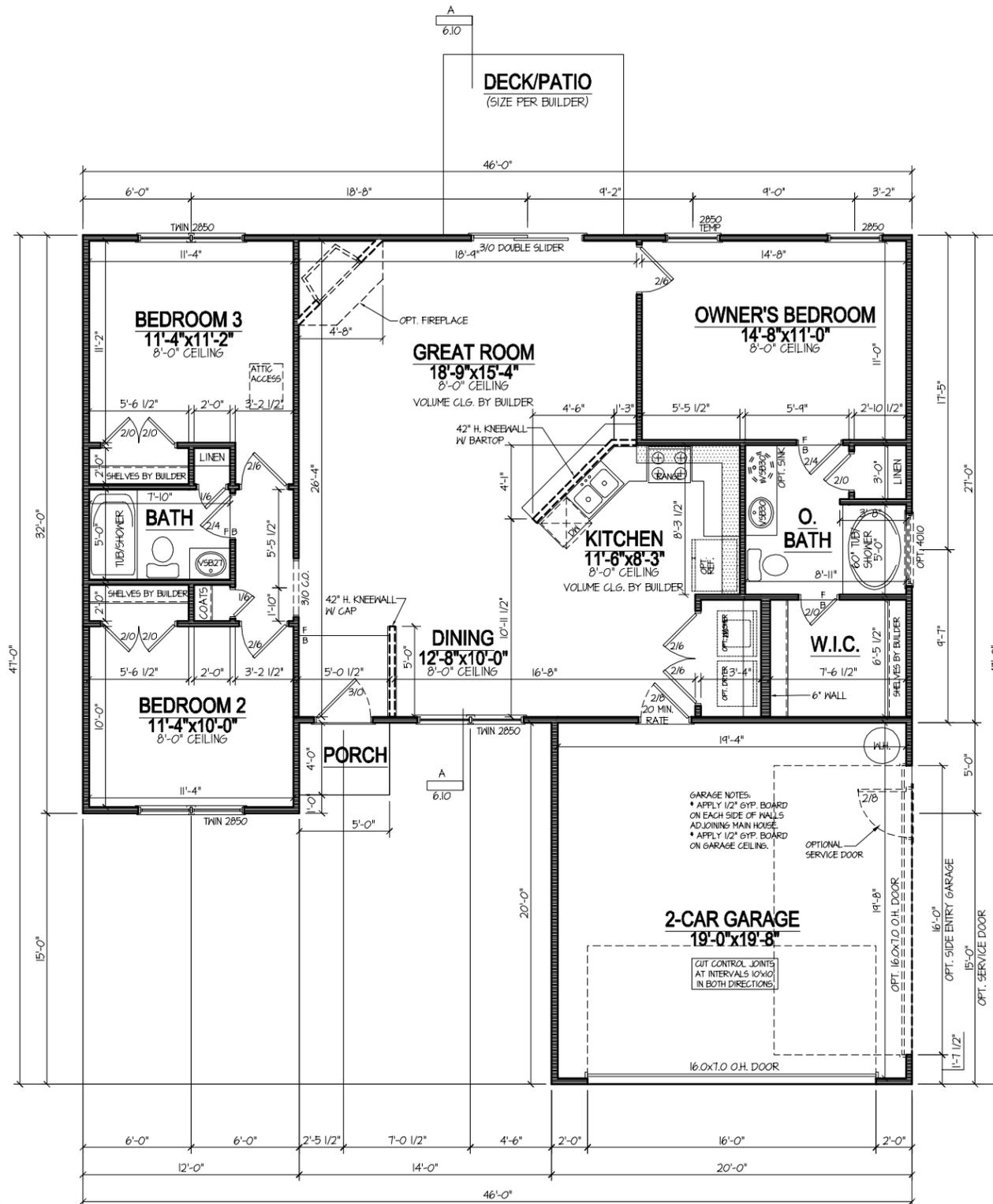
PRESCRIPTIVE COMPLIANCE (FENESTRATION)
FOR DOORS AND WINDOWS

GROSS AREA OF EXTERIOR WALLS	1248 SQFT.
NOMINAL AREA OF UNGLAZED DOORS	20 SQFT.
NOMINAL AREA OF DOORS WITH GLAZING	40 SQFT.
NOMINAL AREA OF WINDOWS	114 SQFT.
TOTAL NOMINAL AREA OF DOORS & WINDOWS	142 SQFT.
% OF DOOR AND WINDOW OPENINGS	15.34 %

SQUARE FOOTAGE ANALYSIS

HABITABLE AREAS				OTHER AREAS	
SPECIFIED AREA	SF INSIDE OF STUDS	SF OUTSIDE OF STUDS	APPRAISABLE SF	SPECIFIED AREA	SQUARE FOOTAGE
FIRST FLOOR	1250	1302	1302	2-CAR GARAGE	400
SECOND FLOOR	N/A	N/A	N/A	REAR PATIO	100
TOTAL SF	1250	1302	1302		

APPRAISABLE SF INCLUDES BRICK VENEER IF APPLICABLE



BUILDERS
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PO Box 836
King, North Carolina 27021
Phone: 336.985.0363

BUILDER
JLJ SERVICES, LLC
PO BOX 573
PAGELAND, SC 29728
843-337-8268

OWNER
PLAN NAME
MV461302-RH
Elevation A

ISSUE DATE
05/27/08
REVISION DATE
05/26/09

DRAWN BY:
DKR
CHECKED BY:
JUT
STANDARD SCALE
1/8" = 1'-0"
22544 1/8"-1'-0"

SHEET NUMBER
3.10

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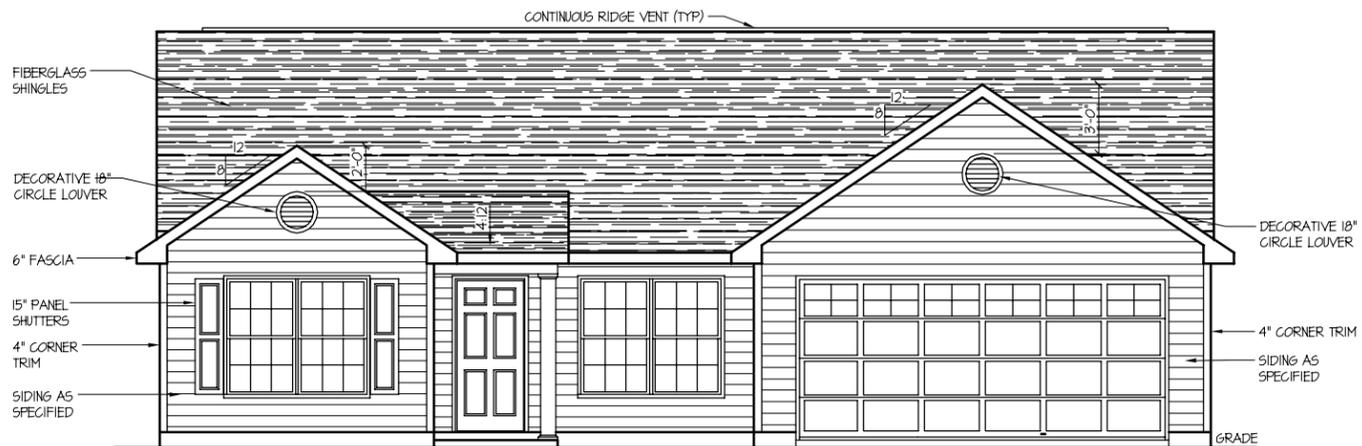
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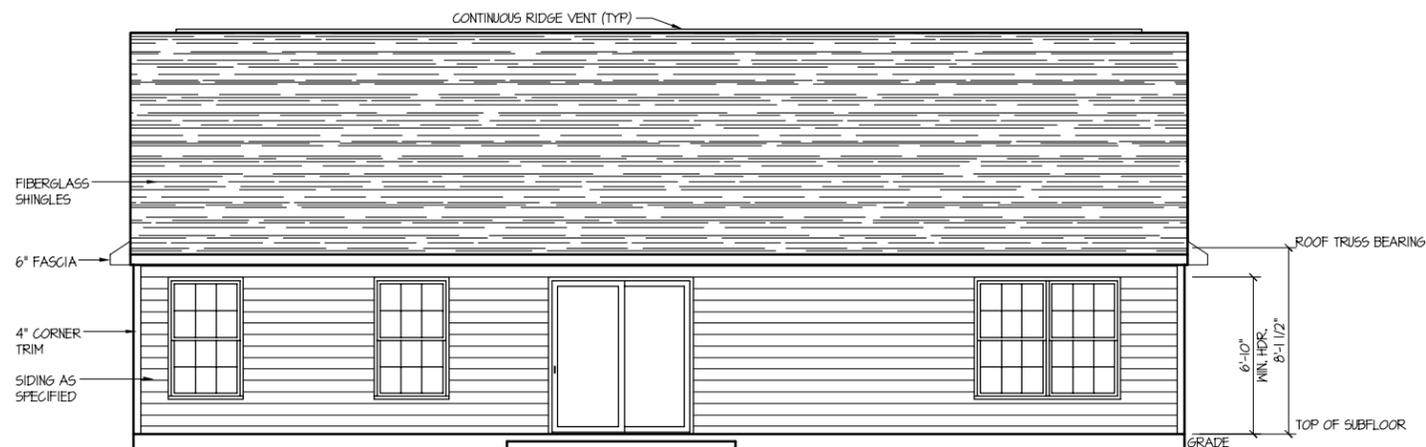
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* MEAN ROOF HEIGHT: 12'-8"

* NOTE: BUILDER MUST ADJUST FOR CRAWL SPACES OR BASEMENTS & GUARDRAILS AS REQUIRED PER LOCAL CODES.



FRONT AND REAR ELEVATIONS

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King, North Carolina 27021
Phone: 336.985.0363

BUILDER
JLJ SERVICES, LLC
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843-337-8268

OWNER
PLAN NAME
MV461302-RH
Elevation A

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1/8" = 1'-0"
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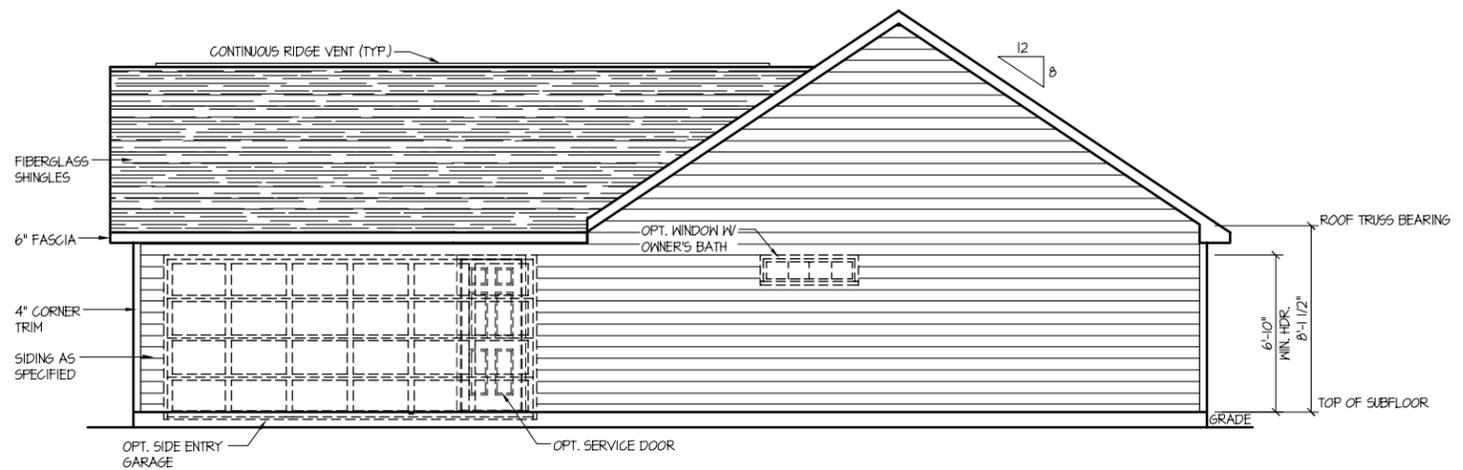
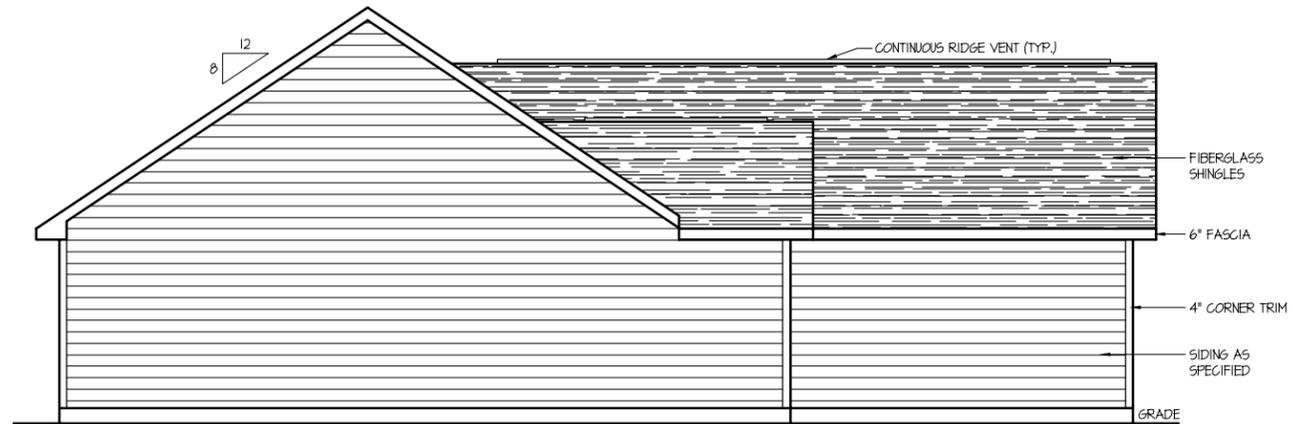
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BUILDER
JLJ SERVICES, LLC

OWNER

PLAN NAME
MV461302-RH
Elevation A

ISSUE DATE
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DRAWN BY:
DKR

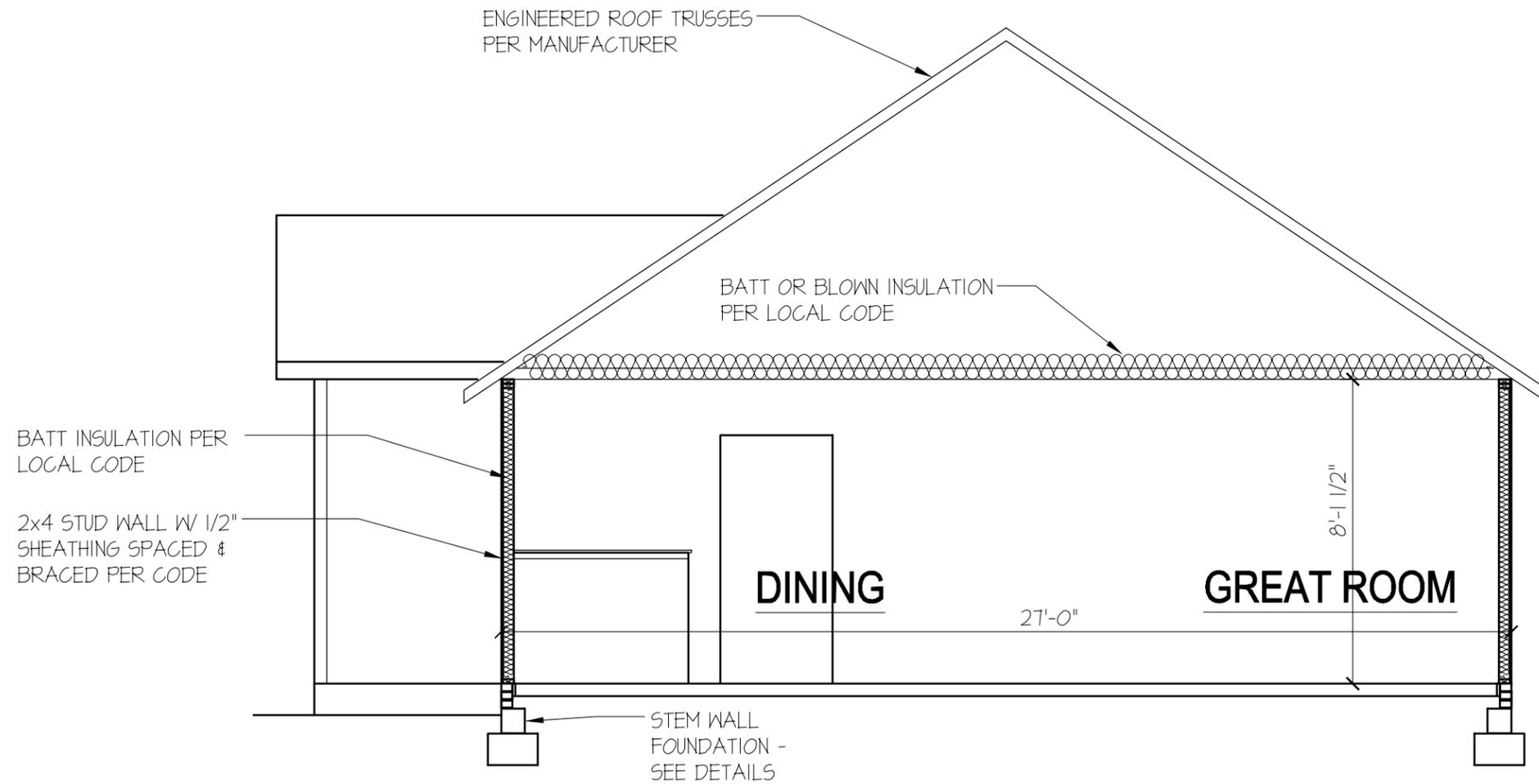
CHECKED BY:
JUT

STANDARD SCALE
1/8"=1'-0"
22544 1/8"-1'-0"

SHEET NUMBER

5.11

LEFT AND RIGHT ELEVATIONS



* NOTE: SECTION IS FOR MAIN HOUSE AREA ONLY. FRONT EXTERIOR WALL COVERINGS, PORCHES, ETC., MAY VARY PER ELEVATION

A
6.10

BUILDING SECTION

* NOTE: BUILDER MUST ADJUST FOR CRAWL SPACES OR BASEMENTS AS REQUIRED PER LOCAL CODES.

NOTES

DESIGN LOADS (R301.4)	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
ROOMS OTHER THAN SLEEPING ROOMS	40	10	L/360
SLEEPING ROOMS	30	10	L/360
ATTIC WITH STORAGE	20	10	L/240
ATTIC WITH OUT STORAGE	10	10	L/360
STAIRS	40	-	L/360
EXTERIOR BALCONIES	60	10	L/360
DECKS	40	10	L/360
GUARDRAILS AND HANDRAILS	200	-	---
PASSENGER VEHICLE GARAGES	50	10	L/360
FIRE ESCAPES	40	10	L/360
SNOW	20	---	---
WIND LOAD	(BASED ON 90 MPH WIND VELOCITY & EXPOSURE B)		

FOR WALL BRACING REQUIREMENTS REFER TO SECTION R602.10 OF THE NORTH CAROLINA STATE RESIDENTIAL CODE - 2012 EDITION (I.N.O.)
 LATERAL BRACING SHALL BE SATISFIED BY CONTINUOUSLY SHEATHING WALLS WITH STRUCTURAL SHEATHING INSTALLED PER TABLE R602.10.3. NOTE THAT ANY SPECIFIC BRACED WALL DETAIL SHALL BE INSTALLED AS SPECIFIED.

CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (UNO). AIR ENTRAINMENT PER TABLE 402.2

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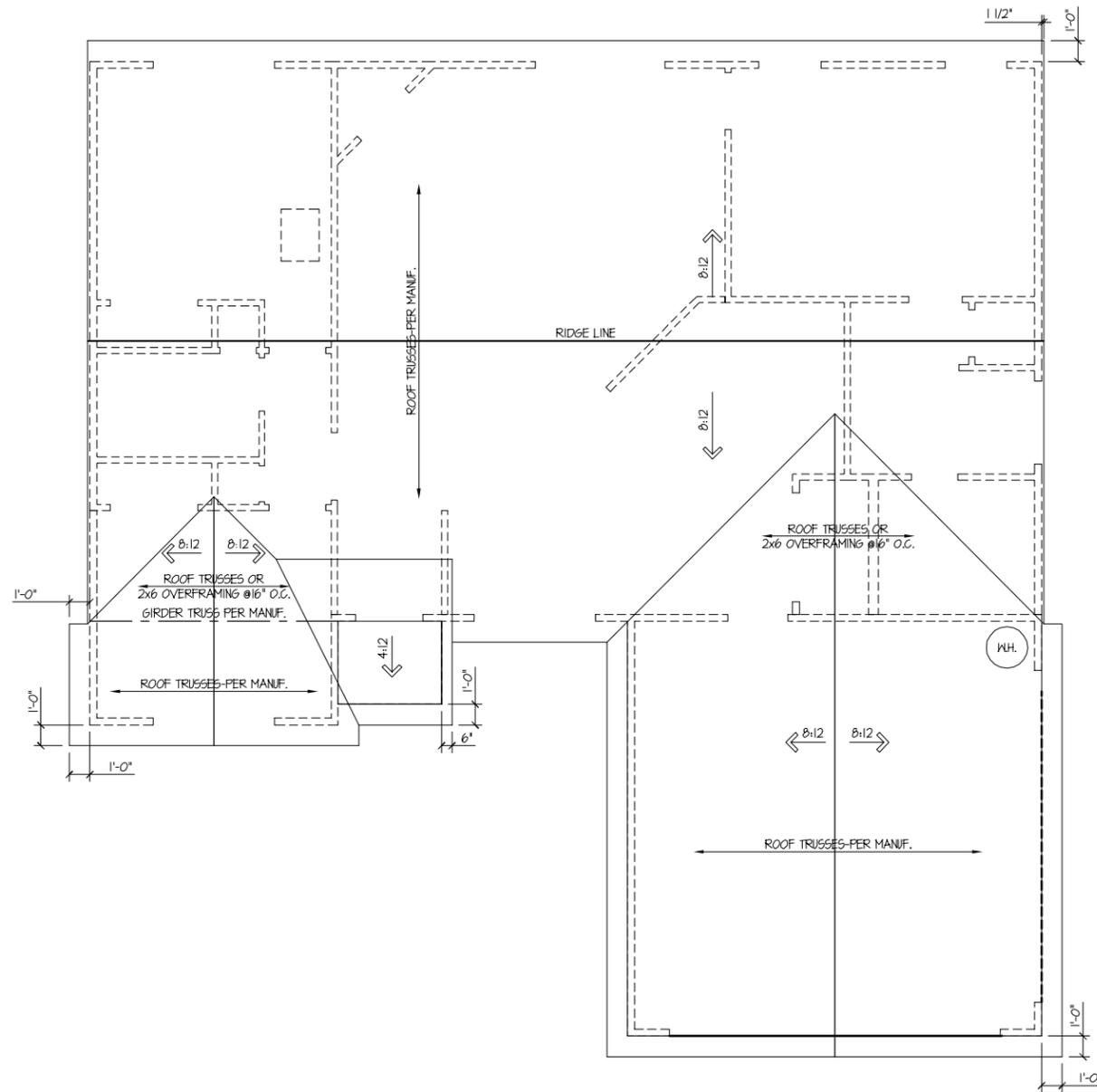
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 21 PSF - 7:12 TO 12:12 PITCH

WALLS:
 24.1 PSF - WALLS



ATTIC VENTILATION	
1702 SQ.FT. OF CLG. /300 = 5.67 REQ.	
RIDGEVENT = .125 SQ.FT. PER FT. 8'-1" x .125 = (11.14)	
SOFFIT VENT = .062 SQ.FT. PER FT. 98'-4" x .062 = (6.47)	
TOTAL SQ.FT. VENTILATION PROVIDED (17.61)	

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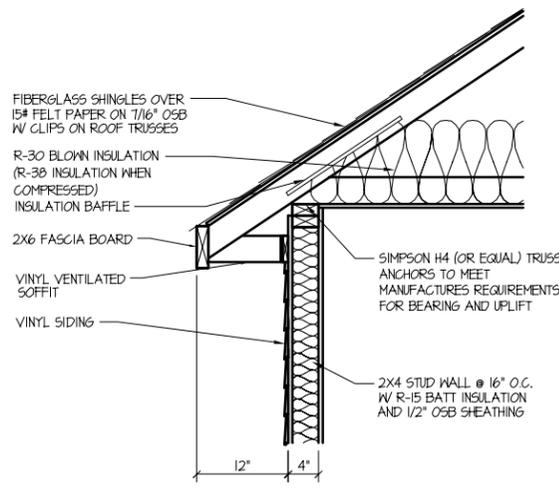
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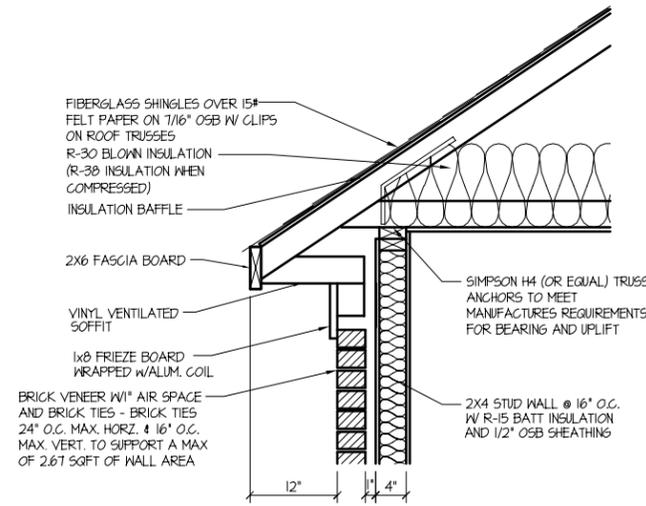
DRAWN BY:
 DKR
CHECKED BY:
 JJT
 STANDARD SCALE
 1/8" = 1'-0"
 22564-1/8-1'-0"

SHEET NUMBER
 7.10

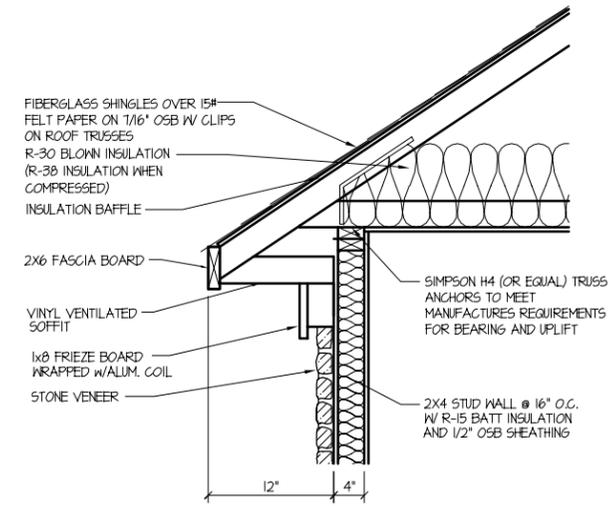
ROOF PLAN



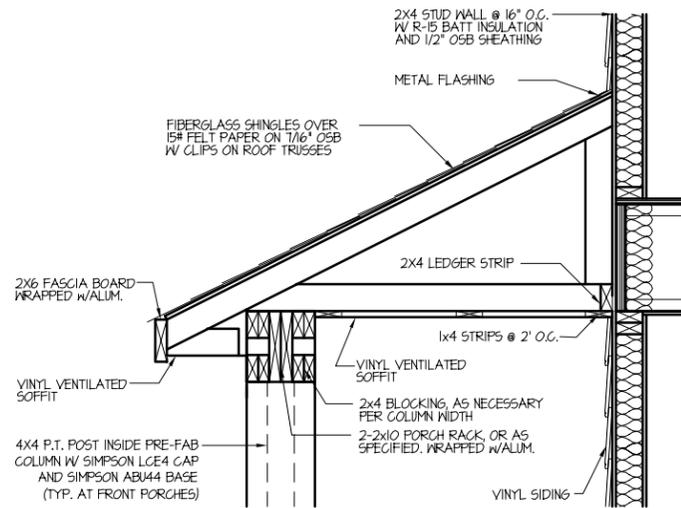
1 CORNICE W/ SIDING



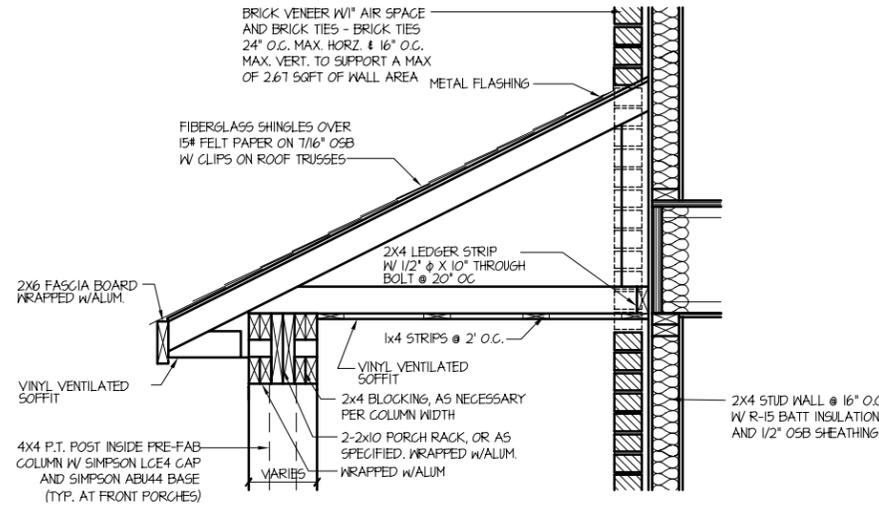
2 CORNICE W/ BRICK



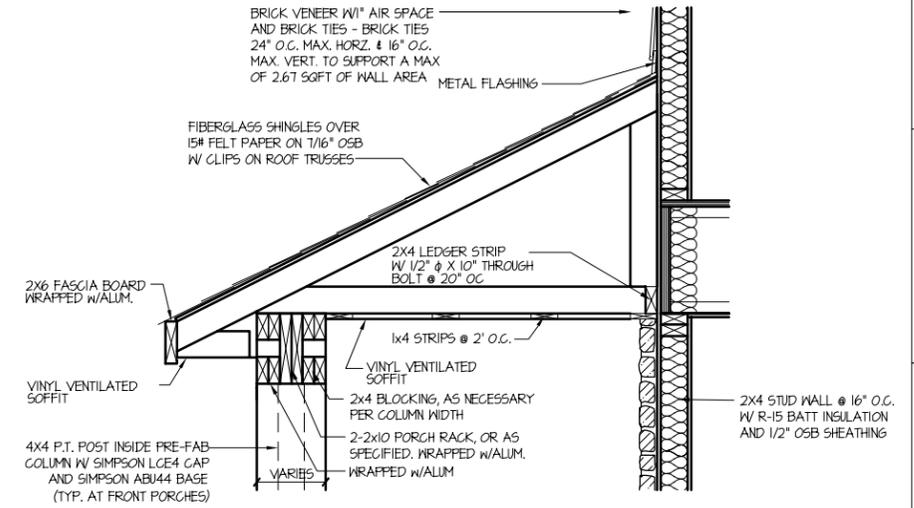
3 CORNICE W/ STONE



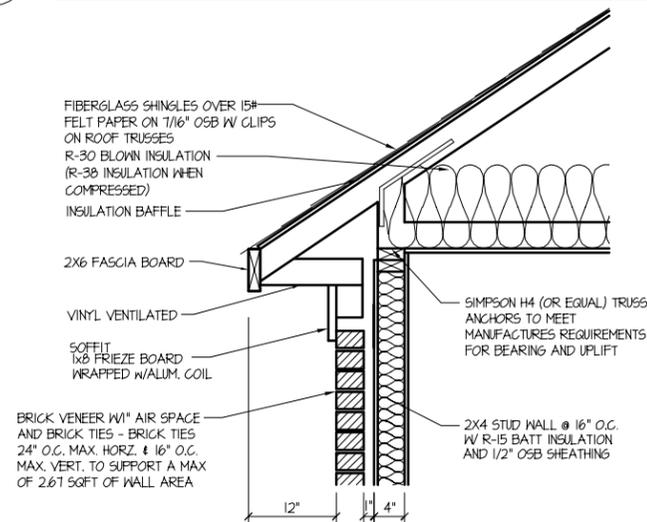
4 SHED PORCH RACK W/ SIDING



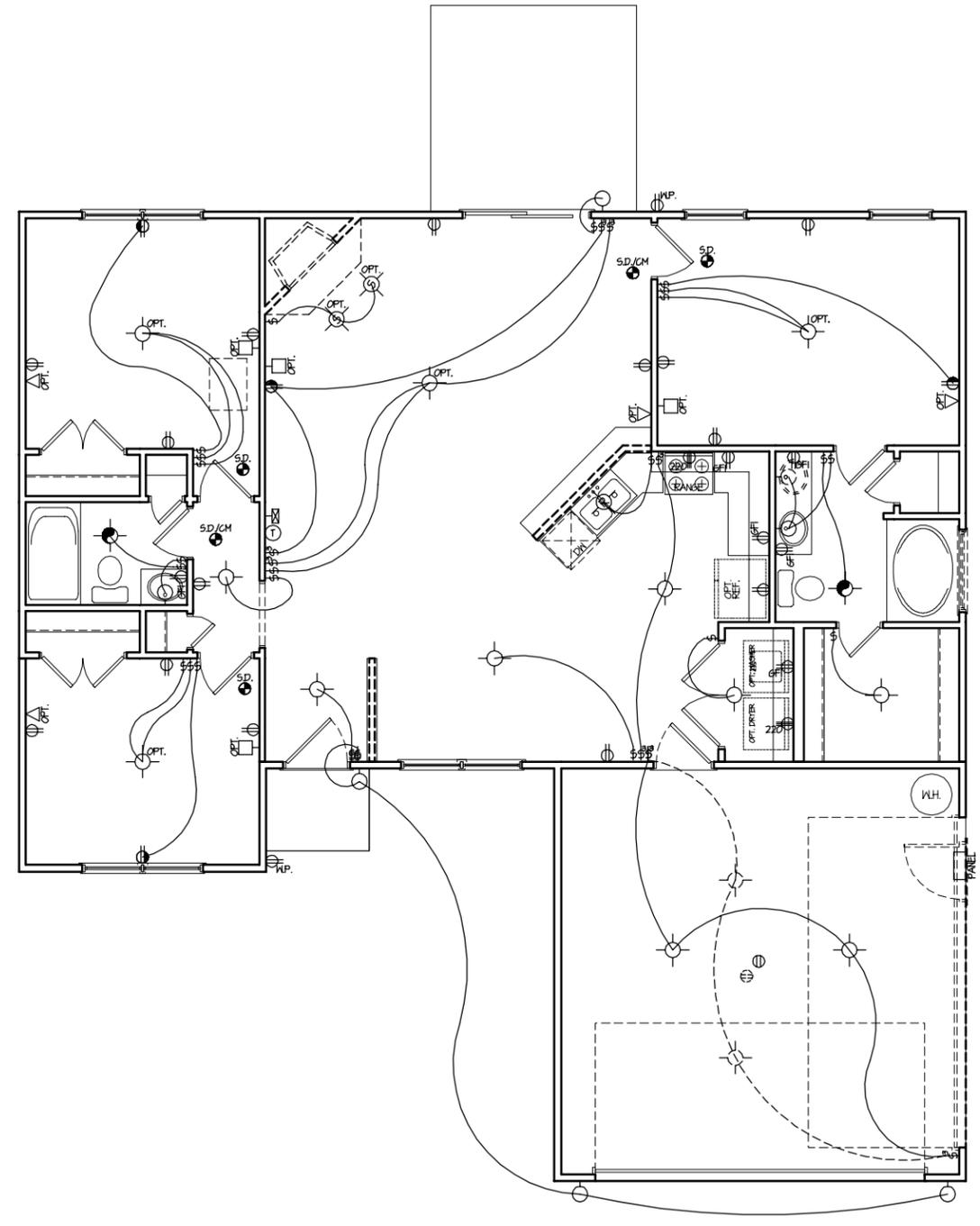
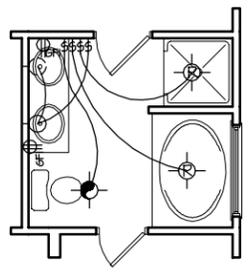
5 SHED PORCH RACK W/ BRICK



6 SHED PORCH RACK W/ STONE



7 CORNICE W/ BRICK & 5\"/>



ELECTRICAL LEGEND

DESCRIPTION	
⌚	SINGLE POLE SWITCH
⌚	THREE-WAY SWITCH
⌚	FOUR-WAY SWITCH
⊕	DUPLEX RECEPTACLE
⊕	SPLIT-WIRED DUPLEX RECEPTACLE
⊕	WATERPROOF RECEPTACLE
⊕	GROUND FAULT DUPLEX RECEPTACLE
⊕	220 RECEPTACLE
⊕	CEILING DUPLEX RECEPTACLE
⊕	FLOOR DUPLEX RECEPTACLE
☎	TELEPHONE
⊙	CEILING FIXTURE
⊙	SCONCE/WALL LIGHT
⊙	RECESSED LIGHT
⊙	RECESSED SPOT LIGHT
⊙	CABLE TELEVISION
⊙	SMOKE DETECTOR
⊙	EXHAUST FAN
⊙	EXHAUST FAN W/ LIGHT
⊙	THERMOSTAT
⊙	DOOR CHIME
⊙	ELEC. PANEL BOX
⊙	FLOOD LIGHT
⊙	CEILING FAN

ELECTRICAL LAYOUTS ARE PROVIDED AS A GENERAL GUIDE AND ACTUAL LAYOUT MAY VARY SLIGHTLY. IN ALL CASES THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH LOCAL, STATE, AND NATIONAL CODES.

NOTE: OVERHEAD LIGHTS, PHONE OUTLETS, TV CABLE OUTLETS AND RECESSED LIGHTING MAY NOT BE INCLUDED STANDARD BY THE BUILDER. PLEASE CONSULT WITH THE BUILDER TO DETERMINE WHAT APPLICABLE STANDARDS APPLY IN THIS HOME.