

BPS (www.plansinc.com) - GENERAL INFORMATION

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PRESCRIPTIVE COMPLIANCE (FENESTRATION) FOR DOORS AND WINDOWS	
GROSS AREA OF EXTERIOR WALLS	1216 SQFT.
NOMINAL AREA OF UNGLAZED DOORS	20 SQFT.
NOMINAL AREA OF DOORS WITH GLAZING	40 SQFT.
NOMINAL AREA OF WINDOWS	128 SQFT.
TOTAL NOMINAL AREA OF DOORS & WINDOWS	188 SQFT.
% OF DOOR AND WINDOW OPENINGS	15.46 %

PLAN REFERENCES

DOOR AND WINDOW TAGS
DOOR AND WINDOW TAGS ARE NOTED IN FEET AND INCHES. THEREFORE, THE FIRST TWO NUMBERS REPRESENT THE WIDTH IN FEET AND INCHES. THE LAST TWO NUMBERS REPRESENT THE HEIGHT IN FEET AND INCHES. FOR EXAMPLE, IF THE WINDOW IS NOTED AS 3052, THE NOMINAL SIZE OF THAT WINDOW IS 3'-0" WIDE BY 5'-2" HIGH. THE SAME SHALL BE TRUE FOR ALL DOORS, WINDOWS, TRANSOMS, SHEETROCK OPENINGS, ETC.

WALLS
SEE ELEVATION DRAWINGS FOR WALL PLATE HEIGHTS AND WINDOW AND DOOR HEADER HEIGHTS. ALL DIMENSIONS ON THE FLOOR PLANS ARE TO THE FRAMING MEMBER AND DOES NOT TAKE INTO ACCOUNT ANY FINISHED WALL MATERIALS SUCH AS BRICK VENEERS, DRYWALL, STONE, ETC. ALL BEARING WALLS SHALL BE A MINIMUM OF 2X4 STUDS AT 16" O.C. AND IN BASEMENT OR BOTTOM FLOOR OF A THREE STORY HOME THE STUD SIZE AND SPACING MAY CHANGE ACCORDING TO YOUR LOCAL AND STATE CODE REQUIREMENTS.

FLOOR FRAMING
THESE PLANS ARE SETUP FOR AN ENGINEERED WOOD/TRUSS SYSTEM. DIRECTION OF JOISTS/TRUSSES ARE NOTED ON EACH FLOOR HOWEVER THE SPACING AND DEPTH WILL BE ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. FIRST FLOOR FRAMING ON A CRAWL SPACE MAY BE SET UP FOR CONVENTIONAL LUMBER THIS RESULTING IN SHORTER JOIST SPANS. THE BUILDER SHOULD VERIFY SPANS AND LUMBER SIZES BASED ON THE LOCAL AND STATE CODE.

ROOF
THESE PLANS ARE SETUP FOR ROOF TRUSSES. THE ROOF PLAN WILL SHOW THE ROOF TRUSS DIRECTION BUT THE ACTUAL SHOULD BE IN ACCORDANCE WITH THE MANUFACTURER'S LAYOUT AND SPECIFICATIONS. ALL ROOFS ARE INTENDED TO HAVE THE ROOF TRUSSES BEAR ON OUTSIDE WALLS OR GARAGE INTERIOR WALLS ONLY UNLESS OTHERWISE NOTED.

SQUARE FOOTAGE ANALYSIS

SPECIFIED AREA	HABITABLE AREAS		APPRAISABLE SF	SPECIFIED AREA	SQUARE FOOTAGE
	SF INSIDE OF STUDS	SF OUTSIDE OF STUDS			
FIRST FLOOR	1198	1248	1248	2-CAR GARAGE	400
SECOND FLOOR	N/A	N/A	N/A	REAR PATIO	100
TOTAL SF	1198	1248	1248		

APPRAISABLE SF INCLUDES BRICK VENEER IF APPLICABLE

www.PLANINC.com

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PLAN MODEL

MV441248-LH

LEFT HAND

Elevation D



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BUILDER
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OWNER
PLAN NAME:
MV44-1248-LH
Elevation D

ISSUE DATE: 2020-09-24
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CHECKED BY:
STANDARD SCALE:
1/4"=1'-0"
2284-1/4"-1'-0"

SHEET NUMBER
cover

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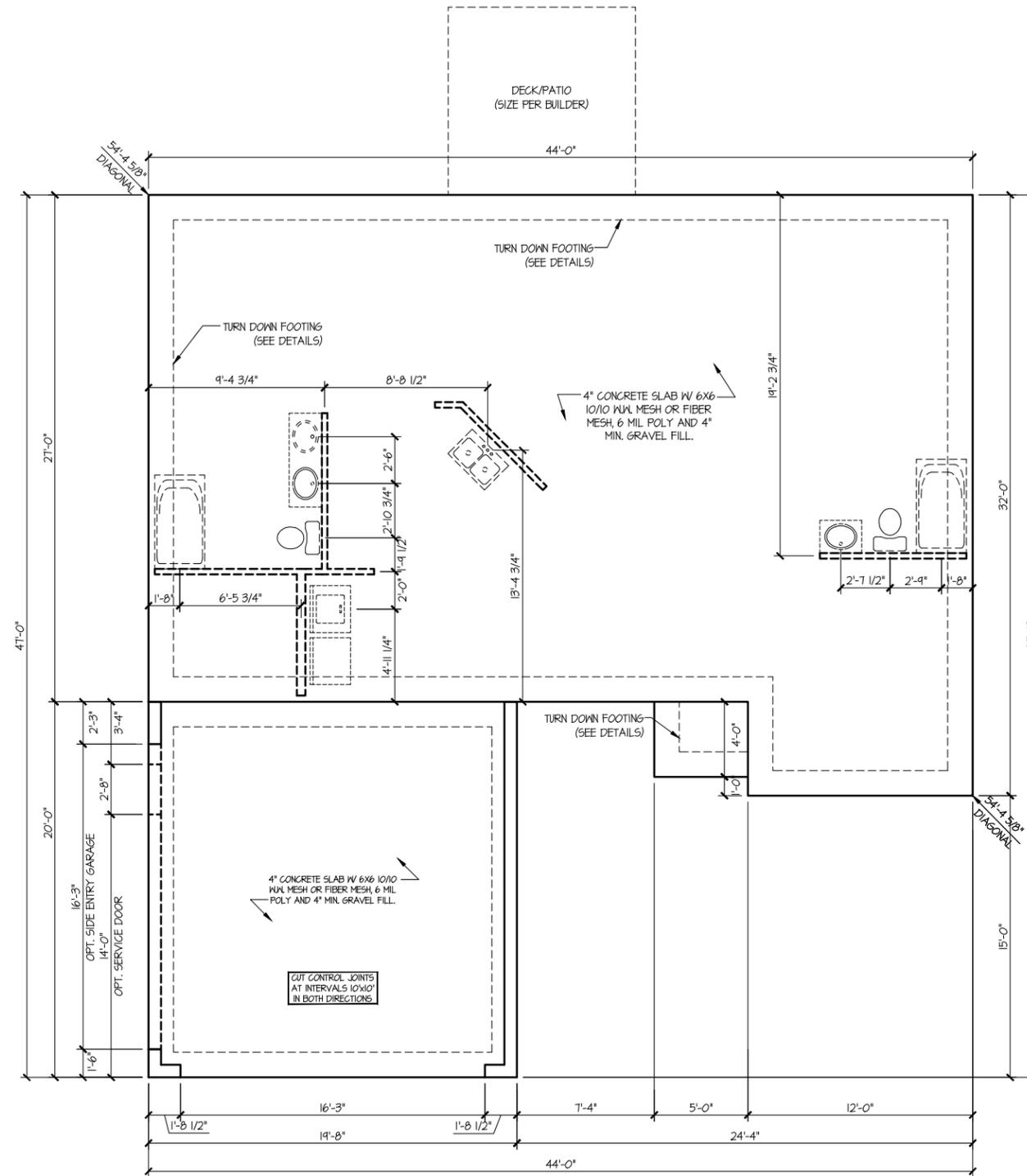
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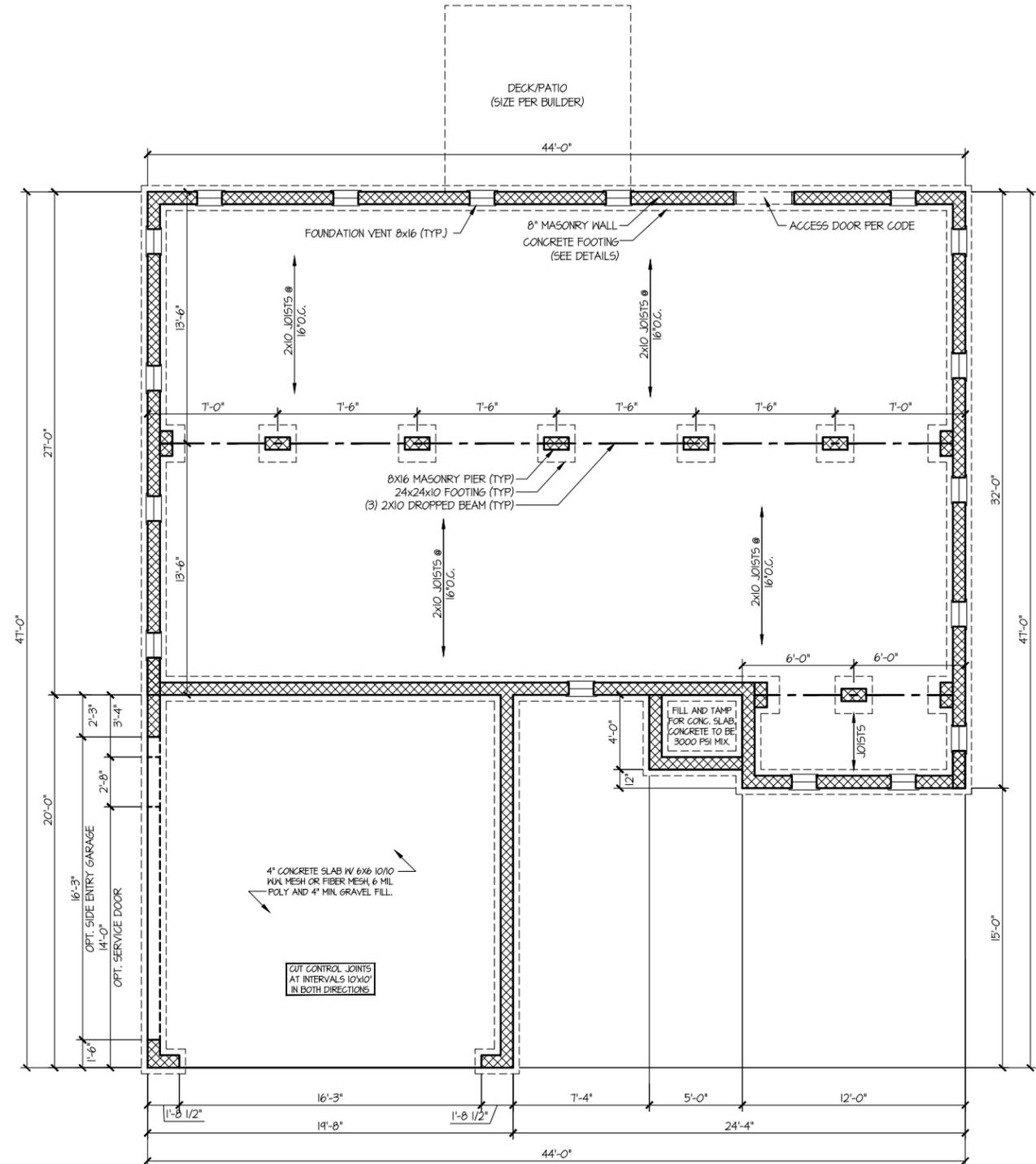
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CRAWL SPACE VENTILATION	
AREA	CALCULATIONS
1248	AREA OF CRAWL SPACE FOUNDATION (1248) DIVIDED (/) BY 150 (1/150) = SQUARE FEET (8.32) OF NET FREE AREA OF VENTILATION REQUIRED FOR HOME. BY COVERING 75% OF THE CRAWL SPACE AREA WITH POLY, YOU MAY REDUCE THE NUMBER BY 50% (8.32/2= 4.16) NET FREE REQUIRED FOR THE HOME. VENTILATION PROVIDED: 17 VENTS @ 0.44 = 7.48

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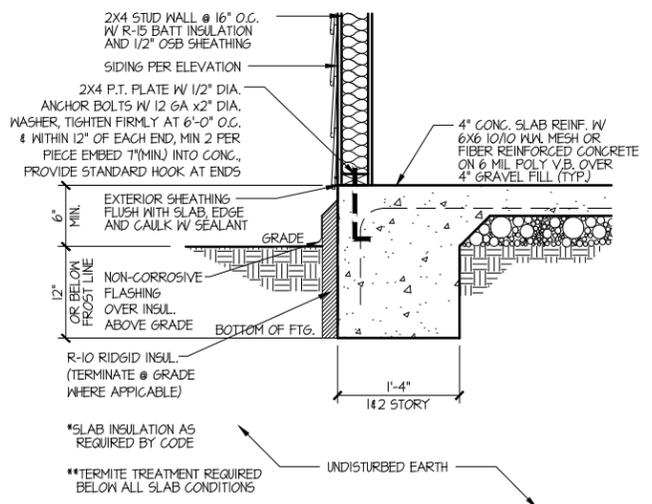
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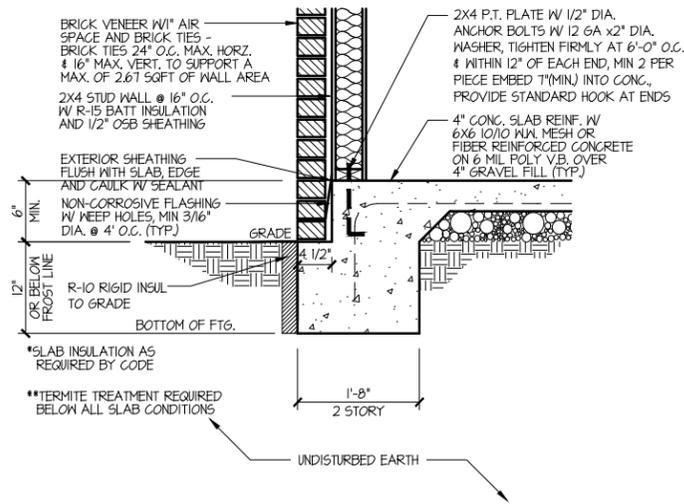
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STANDARD SCALE:
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2284-1/4"-0"

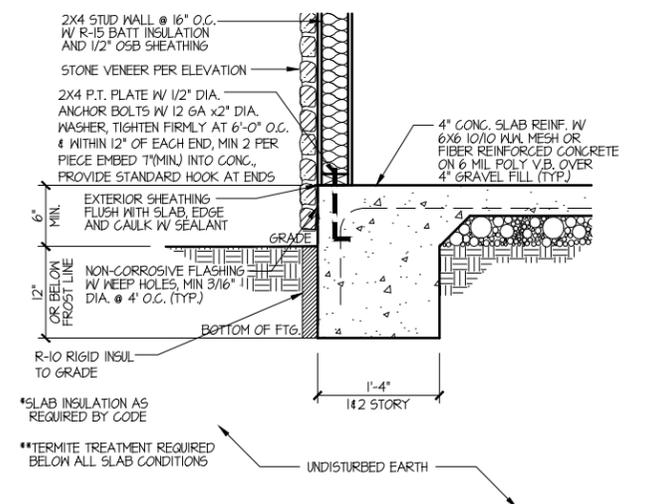
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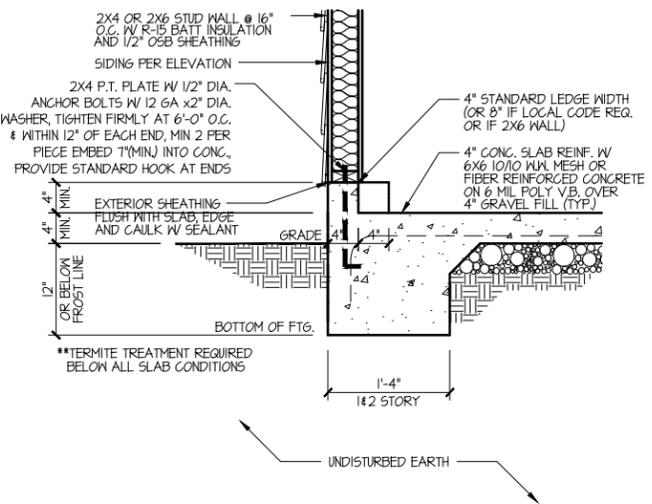
1 MONO @ HOUSE W/ SIDING



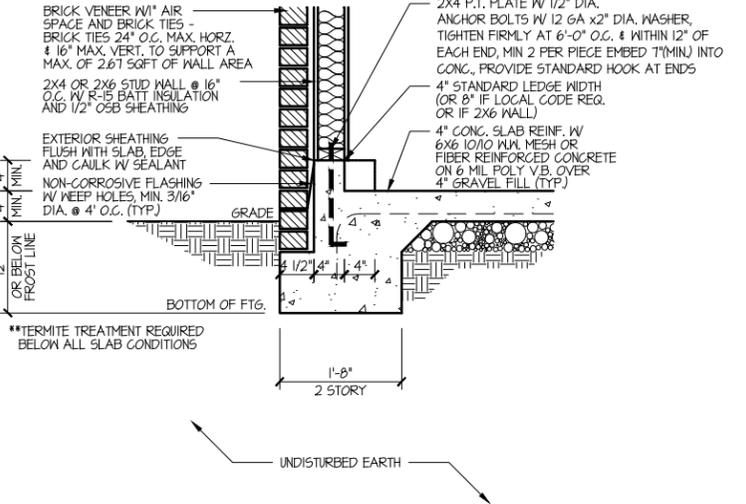
2 MONO @ HOUSE W/ BRICK



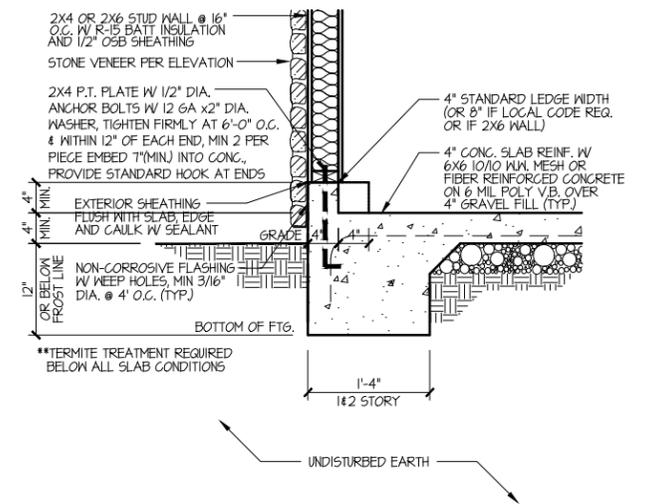
3 MONO @ HOUSE W/ STONE



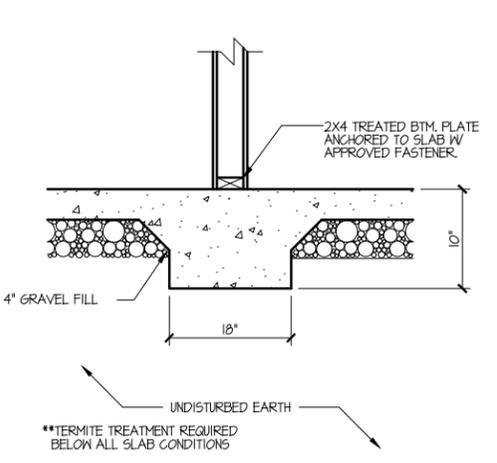
4 MONO @ GARAGE W/ SIDING



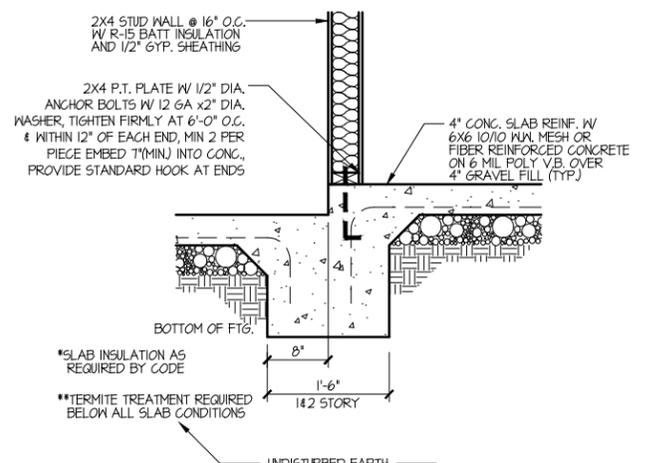
5 MONO @ GARAGE W/ BRICK



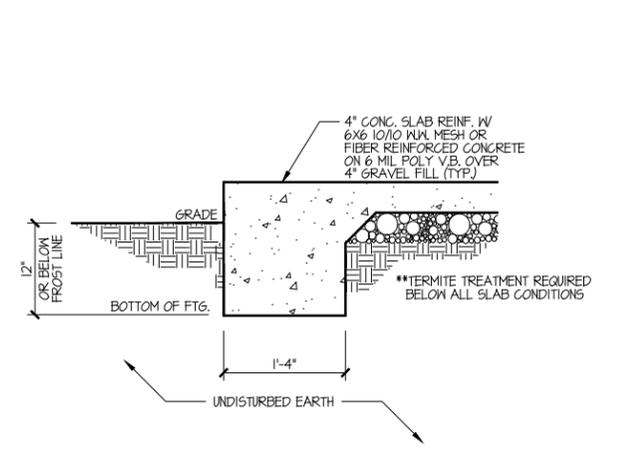
6 MONO @ GARAGE W/ STONE



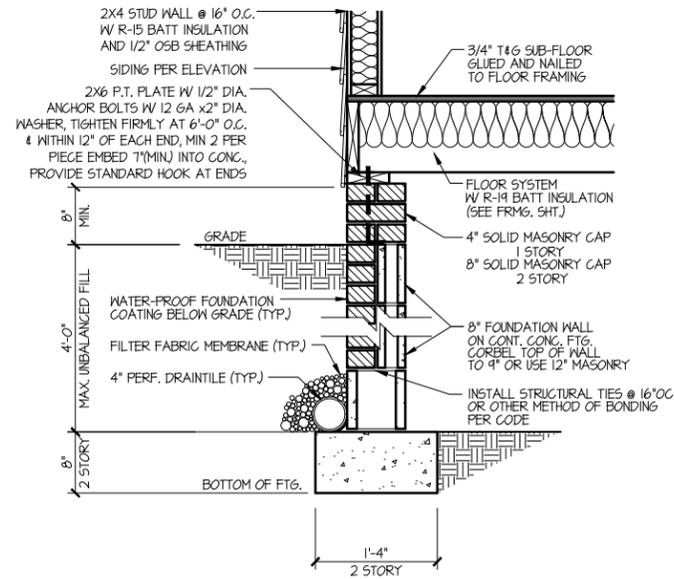
7 THICKENED SLAB



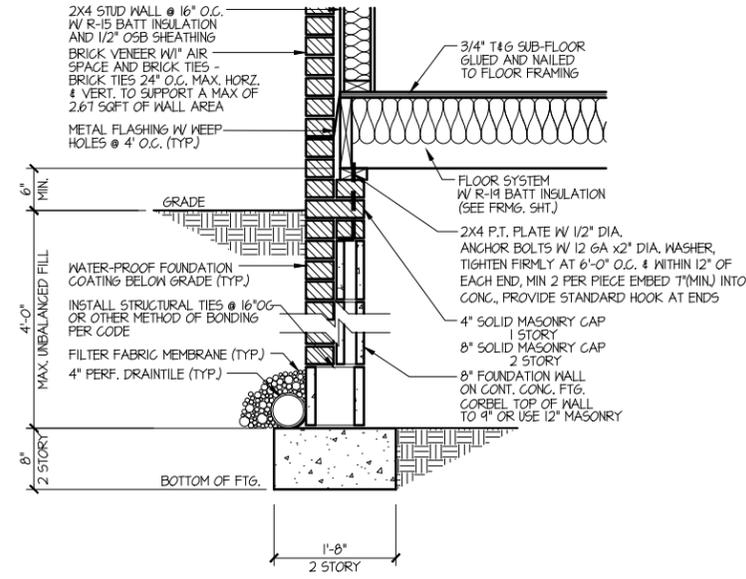
8 MONO @ HOUSE/GARAGE



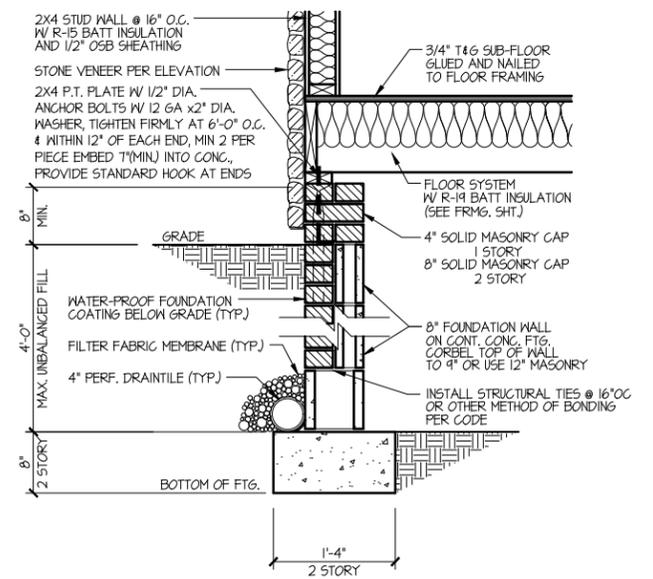
9 PORCH TURN DOWN



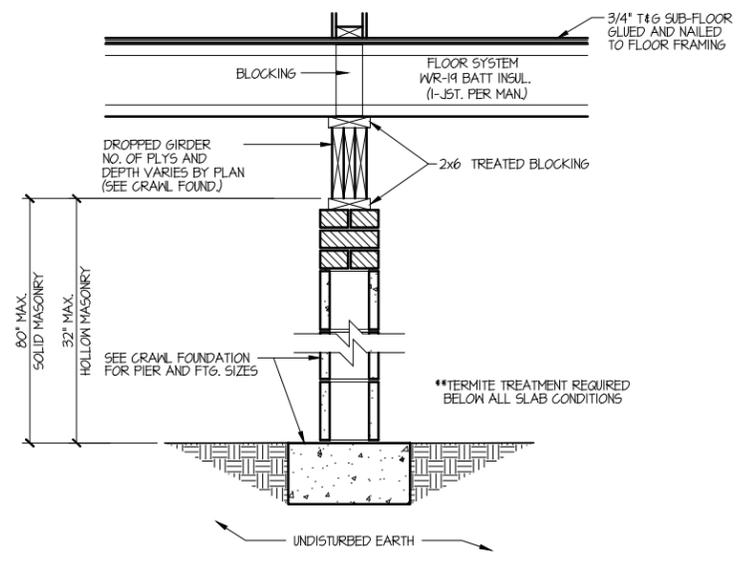
1 CRAWL SPACE W/ SIDING



2 CRAWL SPACE W/ BRICK



3 CRAWL SPACE W/ STONE



4 CRAWL SPACE DROPPED BEAM / PIER

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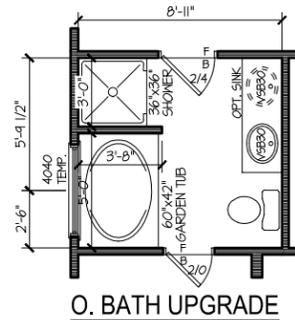
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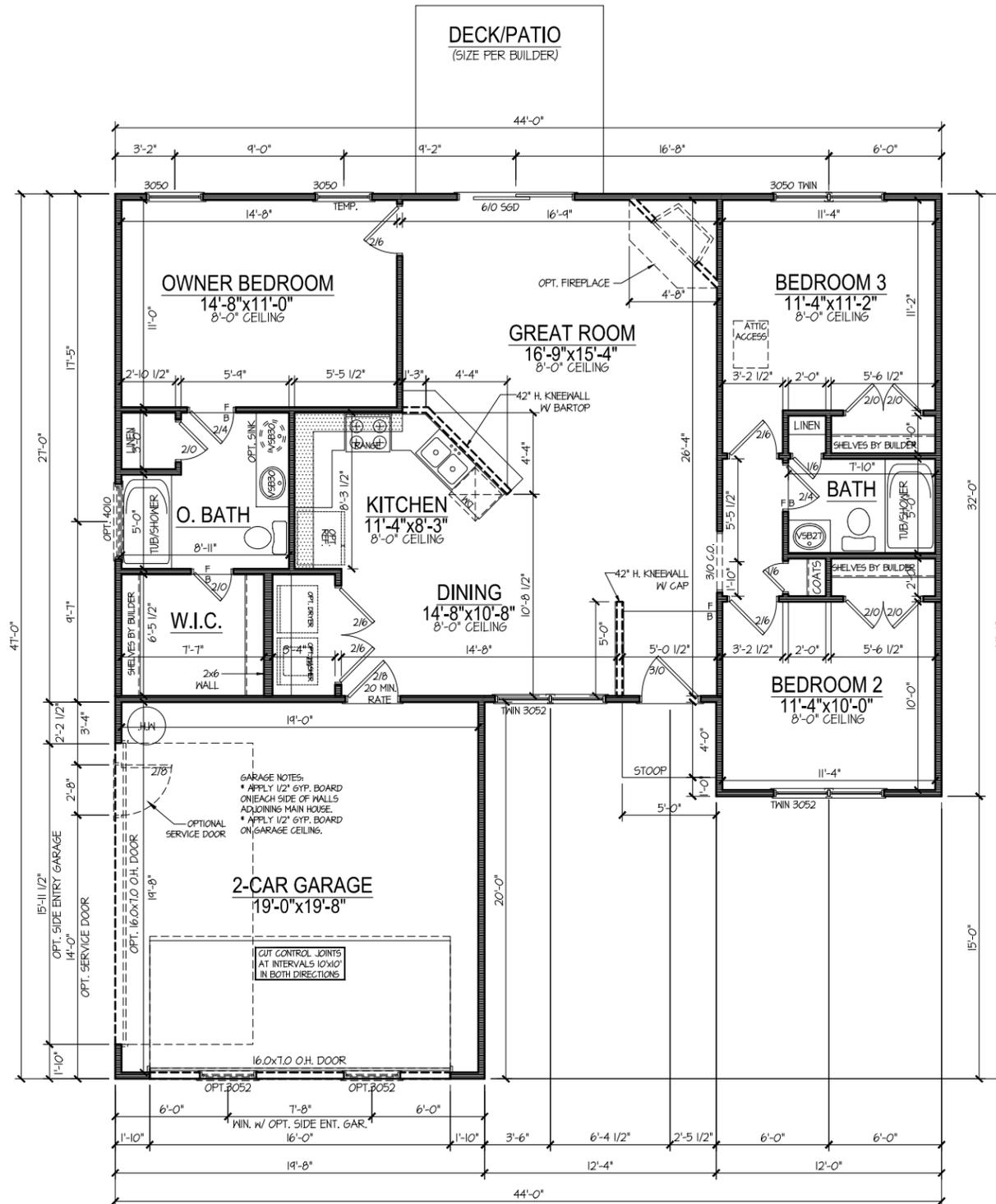
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TOTAL NOMINAL AREA OF DOORS & WINDOWS	188 SQFT.
% OF DOOR AND WINDOW OPENINGS	15.46 %

SQUARE FOOTAGE ANALYSIS

HABITABLE AREAS				OTHER AREAS	
SPECIFIED AREA	SF INSIDE OF STUDS	SF OUTSIDE OF STUDS	APPRAISABLE SF	SPECIFIED AREA	SQUARE FOOTAGE
FIRST FLOOR	1198	1248	1248	2-CAR GARAGE	400
SECOND FLOOR	N/A	N/A	N/A	REAR PATIO	100
TOTAL SF	1198	1248	1248		

APPRAISABLE SF INCLUDES BRICK VENEER IF APPLICABLE



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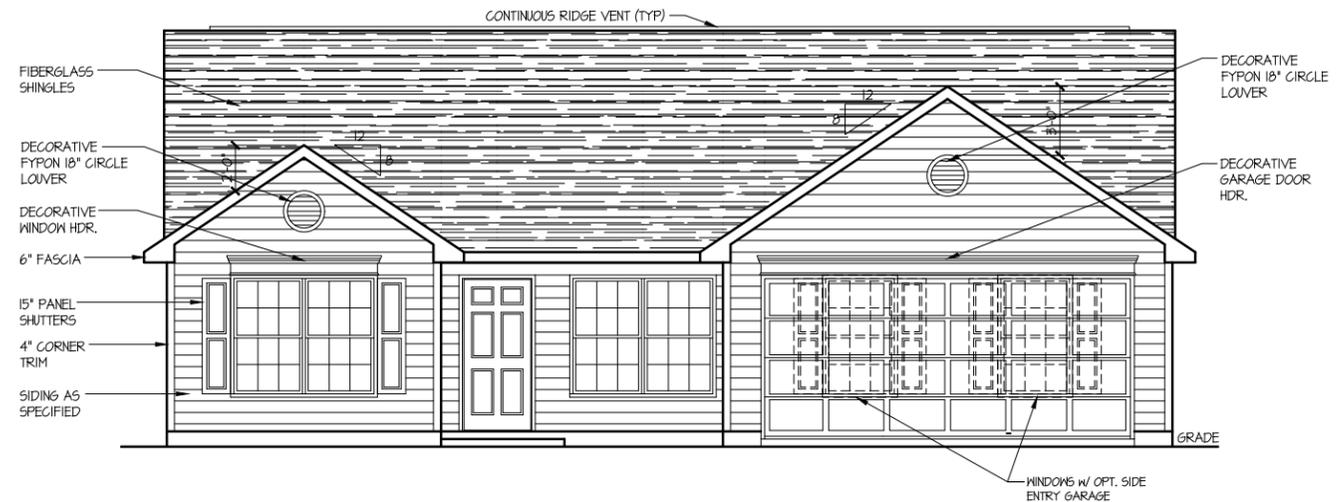
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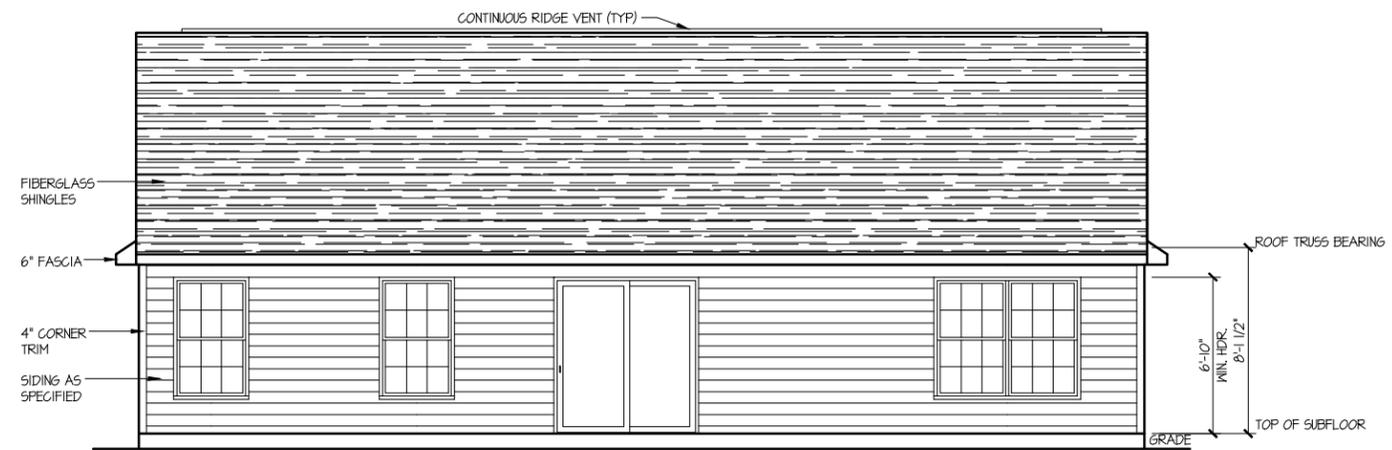
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* MEAN ROOF HEIGHT: 12'-8"

* NOTE: ALL ELEVATIONS ARE DRAWN AS SLAB ON GRADE BY DEFAULT. BUILDER MUST ADJUST FOR CRAWL SPACES OR BASEMENTS & GUARDRAILS AS REQUIRED PER LOCAL CODES.



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2020-09-24

REVISION DATE

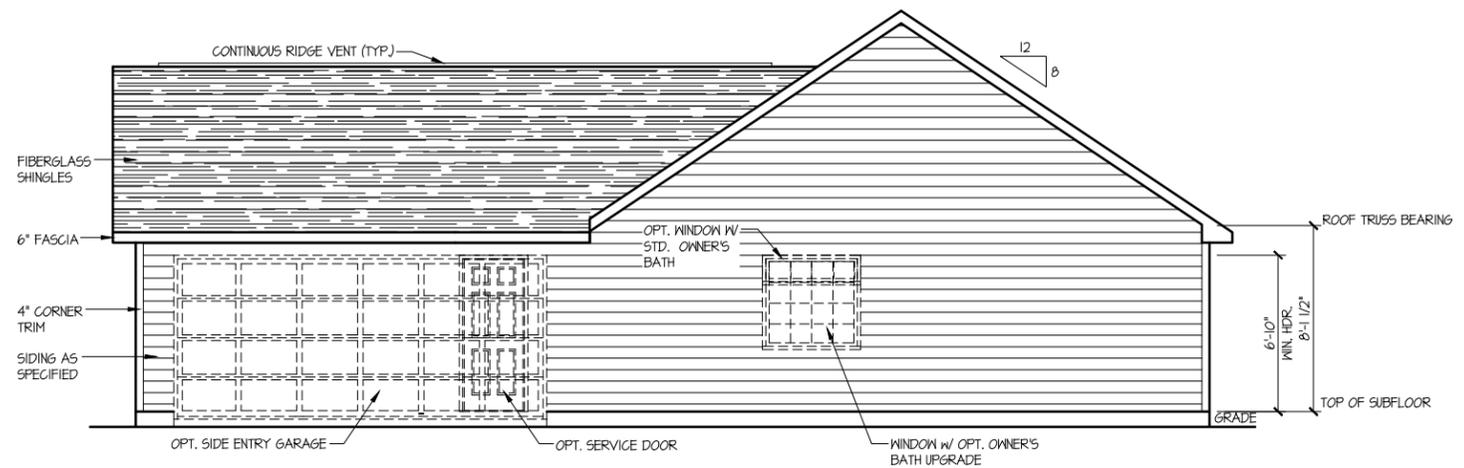
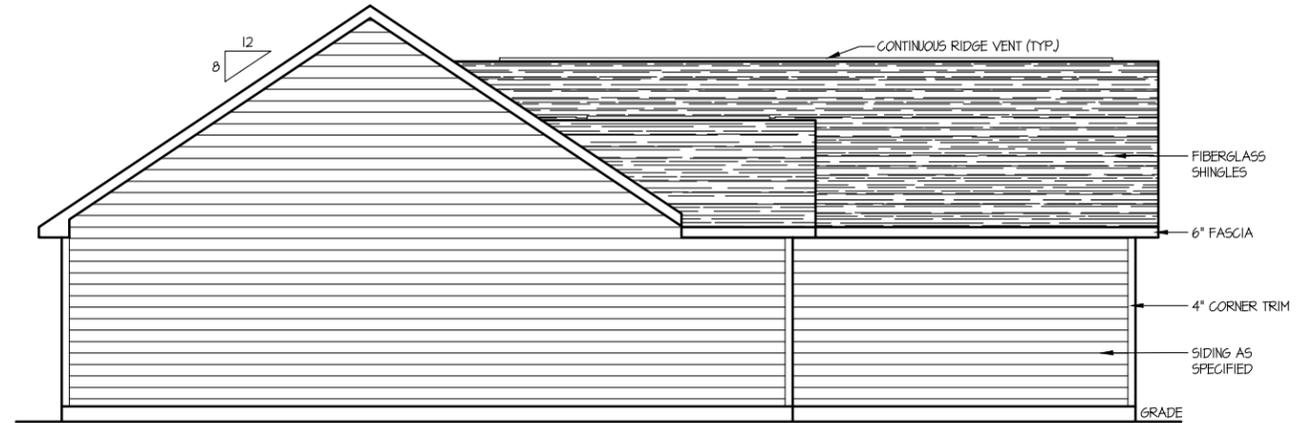
DRAWN BY:

CHECKED BY:

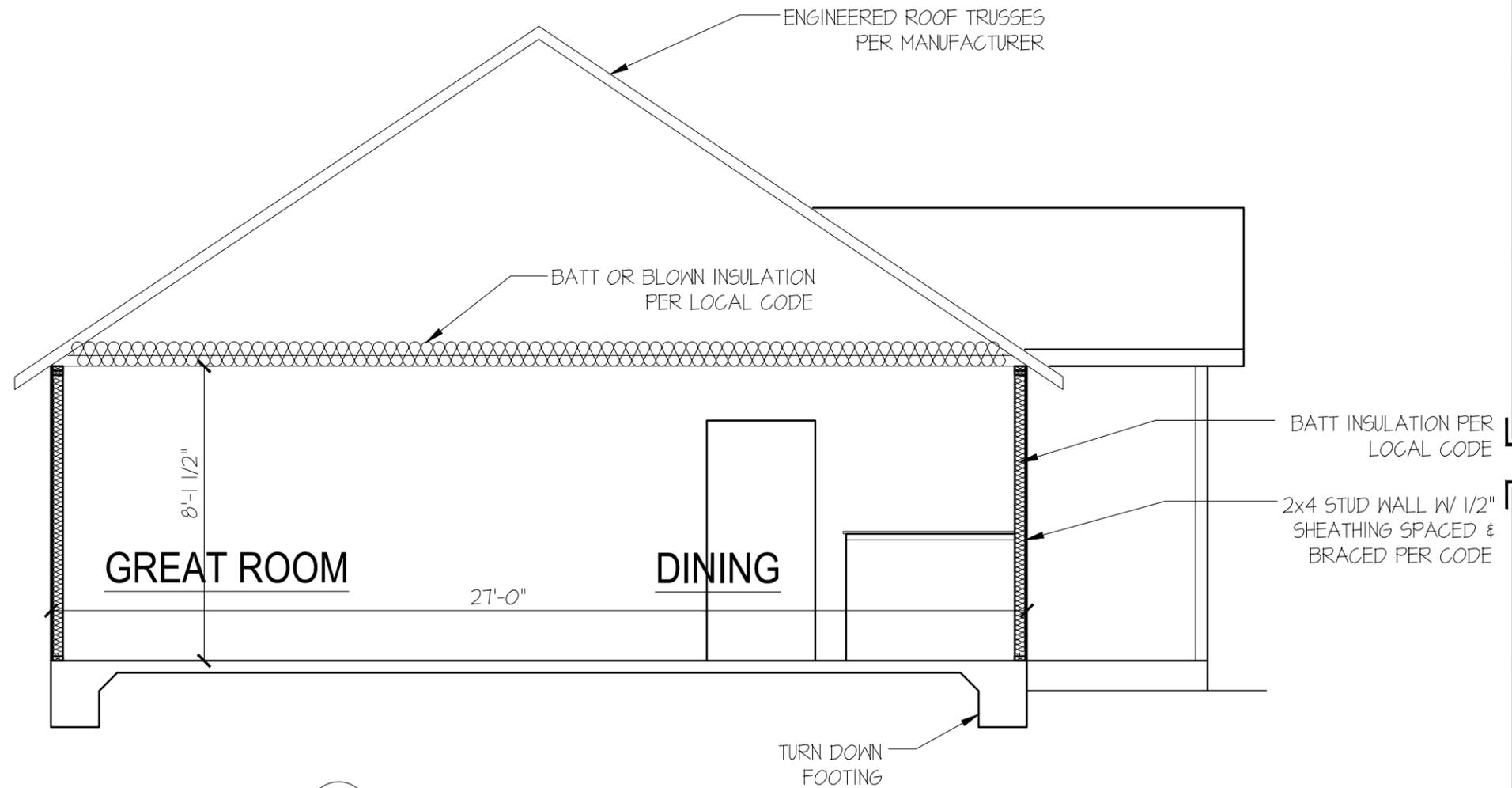
STANDARD SCALE:
1/8" = 1'-0"
2284-1/4"-0"

SHEET NUMBER

5.11



LEFT AND RIGHT ELEVATIONS



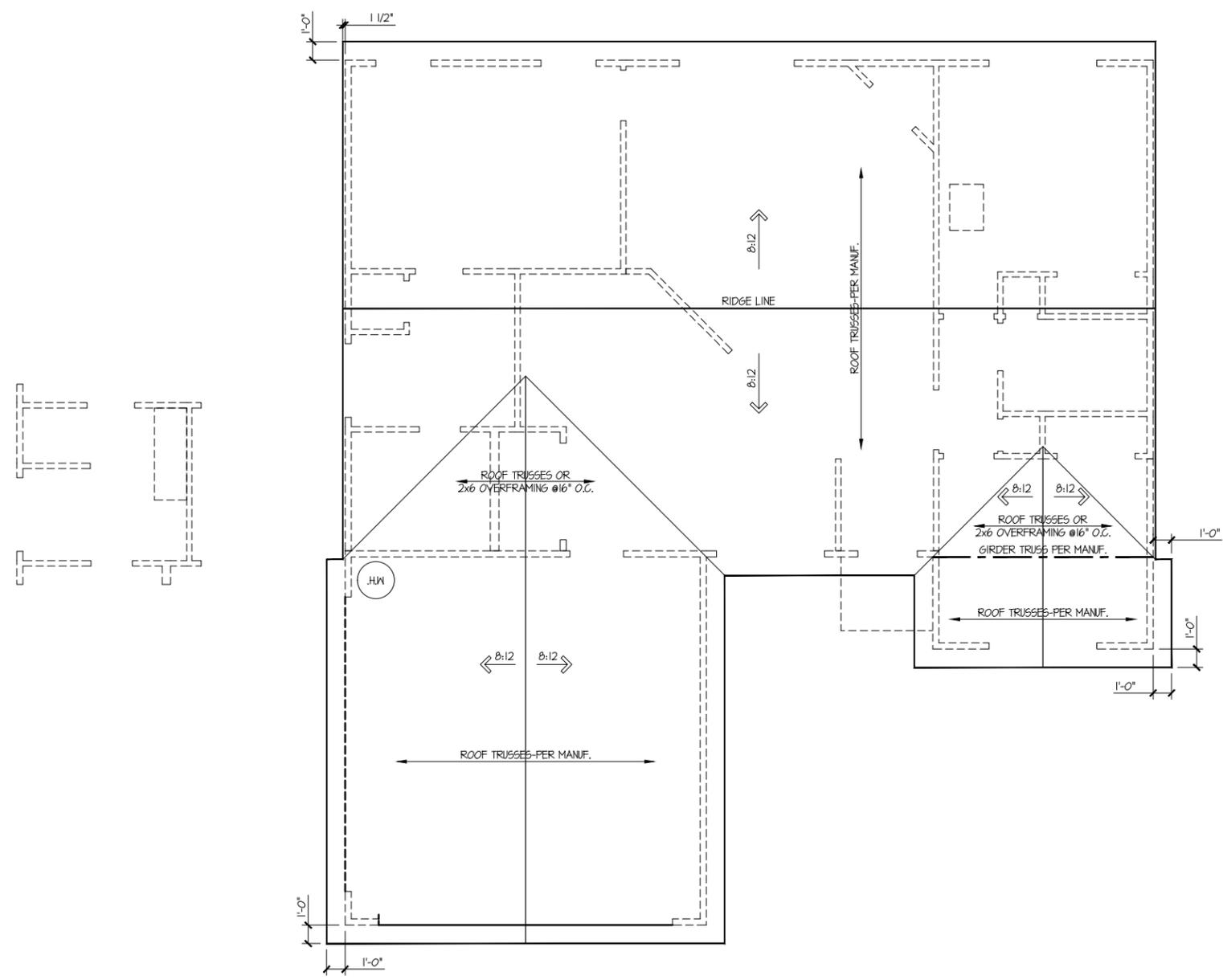
* NOTE: SECTION IS FOR MAIN HOUSE AREA ONLY. FRONT EXTERIOR WALL COVERINGS, PORCHES, ETC., MAY VARY PER ELEVATION

A
6.10

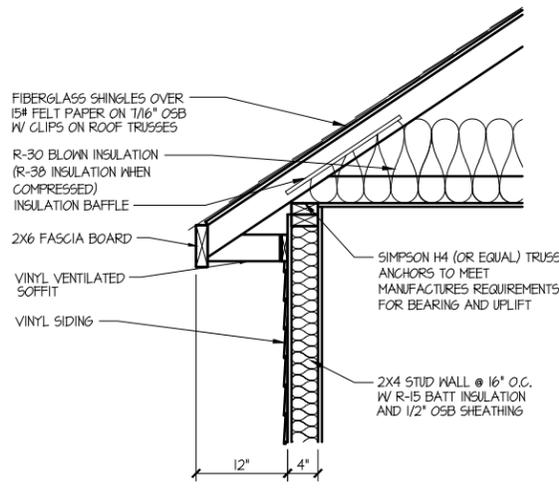
BUILDING SECTION

* NOTE: BUILDING SECTION IS DRAWN AS SLAB ON GRADE BY DEFAULT. BUILDER MUST ADJUST FOR CRAWL SPACES OR BASEMENTS AS REQUIRED PER LOCAL CODES.

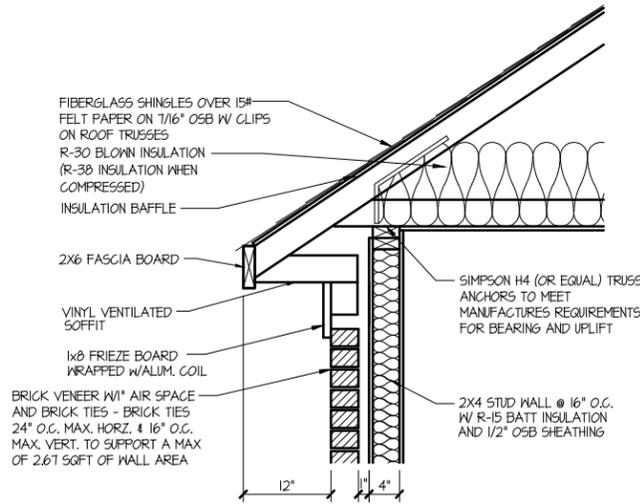
ATTIC VENTILATION
 1248 SQ.FT. OF CLG. / 300 = 4.16 REQ.
 RIDGE VENT = .125 SQ.FT. PER FT. 81'-1" x .125 = (10.84)
 SOFFIT VENT = .062 SQ.FT. PER FT. 48'-4" x .062 = (6.10)
 TOTAL SQ.FT. VENTILATION PROVIDED (16.94)



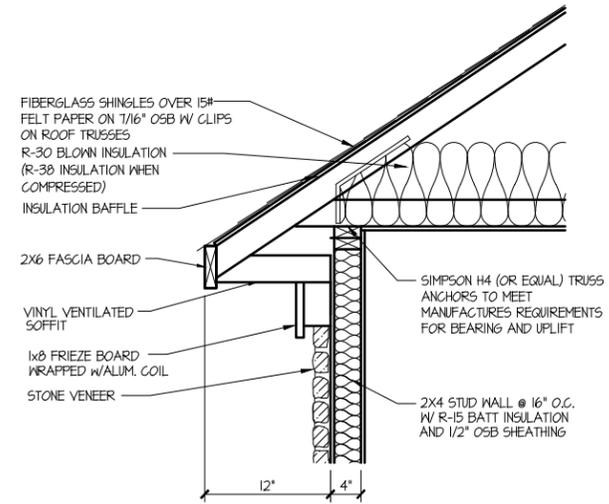
ROOF PLAN



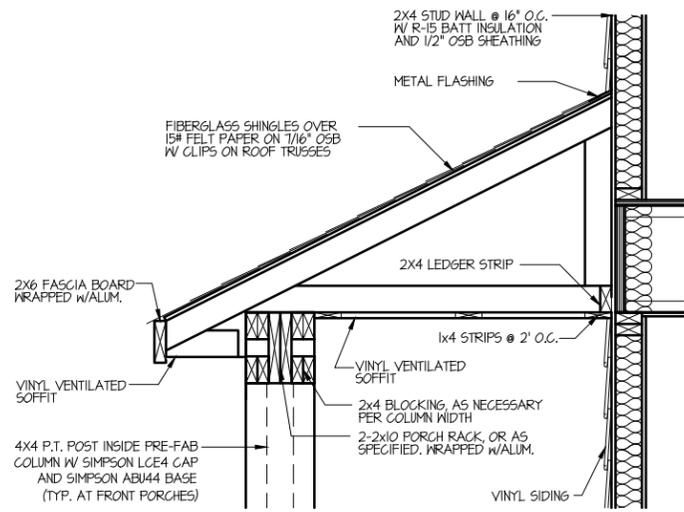
1 CORNICE W/ SIDING



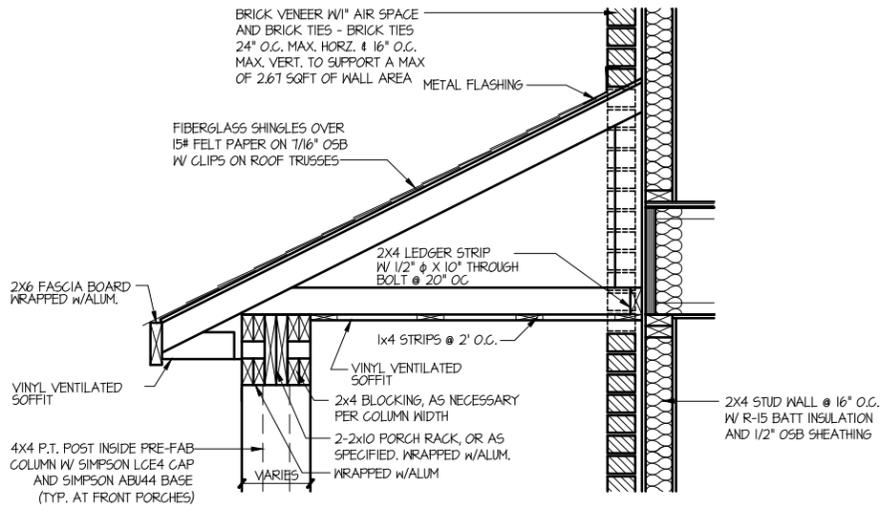
2 CORNICE W/ BRICK



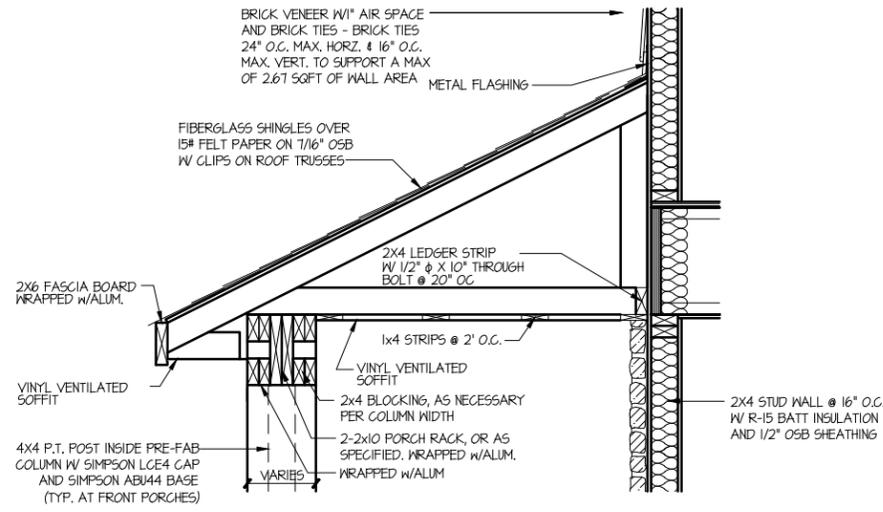
3 CORNICE W/ STONE



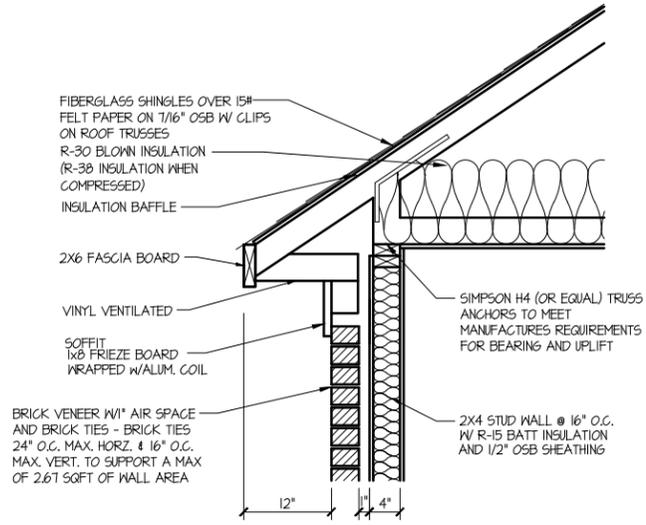
4 SHED PORCH RACK W/ SIDING



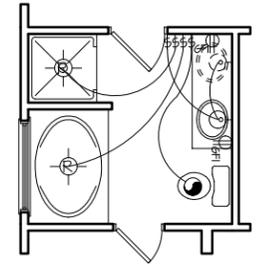
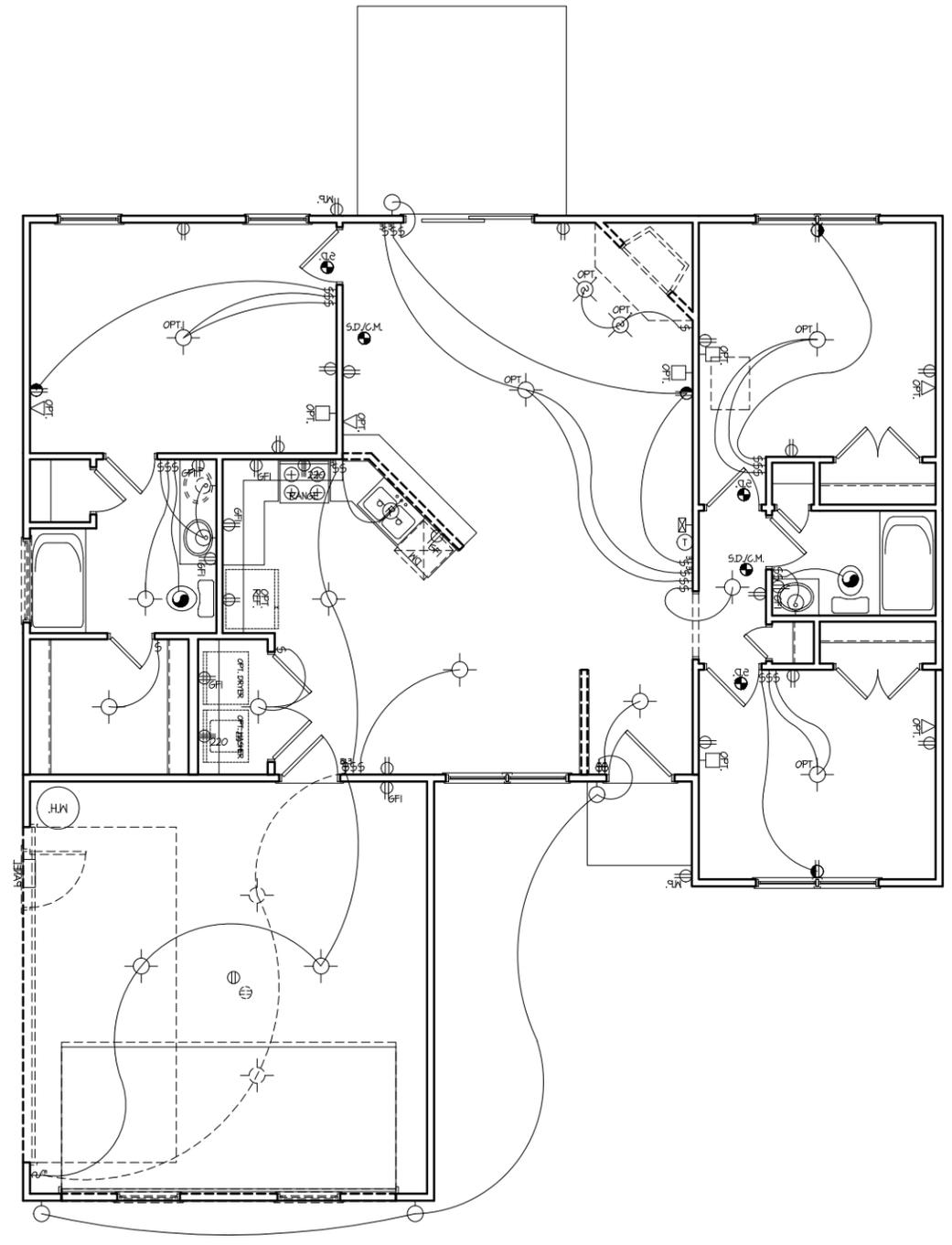
5 SHED PORCH RACK W/ BRICK



6 SHED PORCH RACK W/ STONE



7 CORNICE W/ BRICK & 5\"/>



ELECTRICAL LEGEND	
DESCRIPTION	
⌚	SINGLE POLE SWITCH
⌚	THREE-WAY SWITCH
⌚	FOUR-WAY SWITCH
⌚	DUPLEX RECEPTACLE
⌚	SPLIT-WIRED DUPLEX RECEPTACLE
⌚	WATERPROOF RECEPTACLE
⌚	GROUND FAULT DUPLEX RECEPTACLE
⌚	220 RECEPTACLE
⌚	CEILING DUPLEX RECEPTACLE
⌚	FLOOR DUPLEX RECEPTACLE
⌚	TELEPHONE
⌚	CEILING FIXTURE
⌚	SCONCE/SMALL LIGHT
⌚	RECESSED LIGHT
⌚	RECESSED SPOT LIGHT
⌚	CABLE TELEVISION
⌚	SMOKE OR SMOKE / CARBON MONOXIDE DETECTOR
⌚	EXHAUST FAN
⌚	EXHAUST FAN W/ LIGHT
⌚	THERMOSTAT
⌚	DOOR CHIME
⌚	ELEC. PANEL BOX
⌚	FLOOD LIGHT
⌚	CEILING FAN
⌚	OPT. FAN

ELECTRICAL LAYOUTS ARE PROVIDED AS A GENERAL GUIDE AND ACTUAL LAYOUT MAY VARY SLIGHTLY. IN ALL CASES THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH LOCAL, STATE, AND NATIONAL CODES.

NOTE: OVERHEAD LIGHTS, PHONE OUTLETS, TV CABLE OUTLETS AND RECESSED LIGHTING MAY NOT BE INCLUDED STANDARD BY THE BUILDER. PLEASE CONSULT WITH THE BUILDER TO DETERMINE WHAT APPLICABLE STANDARDS APPLY IN THIS HOME.