

BPS (www.plansinc.com) - GENERAL INFORMATION

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King, North Carolina 27021-0836
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PO Box 836
King, North Carolina 27021
Phone: 336.985.0363

BUILDER
JLJ SERVICES, LLC

PO BOX 537
PAGELAND, SC 29728
843-337-8286

OWNER:

PLAN NAME:

MV381695 RH
Elevation D

ISSUE DATE:
2020-07-16

REVISION DATE:

DRAWN BY:
JHM

CHECKED BY:
JUT

STANDARD SCALE:
1/8"=1'-0"
2264-1/4"-1'-0"

SHEET NUMBER

cover

NOTES

DESIGN LOADS (R301.4)	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
ROOMS OTHER THAN SLEEPING ROOMS	40	10	L/360
SLEEPING ROOMS	30	10	L/360
ATTIC WITH STORAGE	20	10	L/240
ATTIC WITH OUT STORAGE	10	10	L/360
STAIRS	40	10	L/360
EXTERIOR BALCONIES	60	10	L/360
DECKS	40	10	L/360
GUARDRAILS AND HANDRAILS	200	---	---
PASSENGER VEHICLE GARAGES	50	10	L/360
FIRE ESCAPES	40	10	L/360
SNOW	20	---	---
WIND LOAD	(BASED ON LOCATION)		

FOR WALL BRACING REQUIREMENTS REFER TO SECTION R602.10 OF THE NORTH CAROLINA STATE RESIDENTIAL CODE - 2018 EDITION (UNO.) LATERAL BRACING SHALL BE SATISFIED BY CONTINUOUSLY SHEATHING WALLS WITH STRUCTURAL SHEATHING INSTALLED PER TABLE R602.10.3. NOTE THAT ANY SPECIFIC BRACED WALL DETAIL SHALL BE INSTALLED AS SPECIFIED.

CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (UNO). AIR ENTRAINED PER TABLE 402.2

ALL FRAMING LUMBER SHALL BE SPF #2 (Fb = 875 PSI) UNLESS NOTED OTHERWISE (UNO).

ALL WOODEN BEAMS AND HEADERS SHALL HAVE THE FOLLOWING END SUPPORTS: (1) 2x4 STUD COLUMN FOR 6'-0" MAX. BEAM SPAN, MINIMUM (2) STUDS FOR BEAM SPAN GREATER THAN 6'-0" (UNO). ALL BEARING HEADERS AND HEADERS OVER 6'-0" IN LENGTH SHALL BE (2) 2x10's (UNO). SEE PLAN FOR SPECIFIC BEAM SIZES L.V.L. SHALL BE LAMINATED VENEER LUMBER OR PARALLEL STRAND LUMBER (PSL) WITH THE FOLLOWING PROPERTIES: Fb = 2800 PSI, Fv = 285 PSI, E = 1,900,000 PSI.

INSTALL ALL CONNECTIONS PER MANUFACTURERS INSTRUCTIONS.

BRICK LINTELS SHALL BE 3 1/2"x3 1/2"x1/4" STEEL ANGLE FOR UP TO 6'-0" SPAN AND 6"x4"x5/16" STEEL ANGLE WITH 6" LEG VERTICAL FOR SPANS UP TO 9'-0" (UNO).

THE POSITIVE AND NEGATIVE DESIGN PRESSURE FOR DOORS AND WINDOWS FOR A MEAN ROOF HEIGHT OF 35 FEET OR LESS SHALL BE 25 PSF.

THE POSITIVE AND NEGATIVE DESIGN PRESSURES REQUIRED FOR ANY ROOF OR WALL CLADDING APPLICATION NOT SPECIFICALLY ADDRESSED IN THE NCSRBG-2018 EDITION SHALL BE AS FOLLOWS:

ROOF:
45.4 PSF - 2.25:12 PITCH OR LESS
34.8 PSF - 2.25:12 TO 1:12 PITCH
21 PSF - 1:12 TO 12:12 PITCH

WALLS:
24.1 PSF - WALLS

PRESCRIPTIVE COMPLIANCE (FENESTRATION) FOR DOORS AND WINDOWS

GROSS AREA OF EXTERIOR WALLS	2048 SQFT.
NOMINAL AREA OF UNGLAZED DOORS	37.18 SQFT.
NOMINAL AREA OF DOORS WITH GLAZING	40.00 SQFT.
NOMINAL AREA OF WINDOWS	145.5 SQFT.
TOTAL NOMINAL AREA OF DOORS & WINDOWS	273.28 SQFT.
% OF DOOR AND WINDOW OPENINGS	13.34%

PLAN REFERENCES

DOOR AND WINDOW TAGS
DOOR AND WINDOW TAGS ARE NOTED IN FEET AND INCHES. THEREFORE, THE FIRST TWO NUMBERS REPRESENT THE WIDTH IN FEET AND INCHES, THE LAST TWO NUMBERS REPRESENT THE HEIGHT IN FEET AND INCHES. FOR EXAMPLE, IF THE WINDOW IS NOTED AS 3'0" X 5'-2" HIGH, THE SAME SHALL BE TRUE FOR ALL DOORS, WINDOWS, TRANSOMS, SHEETROCK OPENINGS, ETC.

WALLS
SEE ELEVATION DRAWINGS FOR WALL PLATE HEIGHTS AND WINDOW AND DOOR HEADER HEIGHTS. ALL DIMENSIONS ON THE FLOOR PLANS ARE TO THE FRAMING MEMBER AND DOES NOT TAKE INTO ACCOUNT ANY FINISHED WALL MATERIALS SUCH AS BRICK VENEERS, DRYWALL, STONE, ETC. ALL BEARING WALLS SHALL BE A MINIMUM OF 2X4 STUDS AT 16" O.C. AND IN BASEMENT OR BOTTOM FLOOR OF A THREE STORY HOME THE STUD SIZE AND SPACING MAY CHANGE ACCORDING TO YOUR LOCAL AND STATE CODE REQUIREMENTS.

FLOOR FRAMING
THESE PLANS ARE SETUP FOR AN ENGINEERED WOOD/TRUSS SYSTEM. DIRECTION OF JOISTS/TRUSSES ARE NOTED ON EACH FLOOR HOWEVER THE SPACING AND DEPTH WILL BE ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. FIRST FLOOR FRAMING ON A CRAWL SPACE MAY BE SET UP FOR CONVENTIONAL LUMBER THIS RESULTING IN SHORTER JOIST SPANS, THE BUILDER SHOULD VERIFY SPANS AND LUMBER SIZES BASED ON THE LOCAL AND STATE CODE.

ROOF
THESE PLANS ARE SETUP FOR ROOF TRUSSES. THE ROOF PLAN WILL SHOW THE ROOF TRUSS DIRECTION BUT THE ACTUAL SHOULD BE IN ACCORDANCE WITH THE MANUFACTURER'S LAYOUT AND SPECIFICATIONS. ALL ROOFS ARE INTENDED TO HAVE THE ROOF TRUSSES BEAR ON OUTSIDE WALLS OR GARAGE INTERIOR WALLS ONLY UNLESS OTHERWISE NOTED.



PLAN MODEL

MV381695 RH

Elevation D

SQUARE FOOTAGE ANALYSIS

HABITABLE AREAS				OTHER AREAS	
SPECIFIED AREA	SF INSIDE OF STUDS	SF OUTSIDE OF STUDS	APPRAISABLE SF	SPECIFIED AREA	SQUARE FOOTAGE
FIRST FLOOR	754	745	810	GARAGE	398
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				ATTIC STORAGE: (APPROX)	168
				SECOND STORY FOYER	N/A
				2 STORY VAULT GREAT RM	N/A
TOTAL SF	1614	1645	1710		

APPRAISABLE SF INCLUDES BRICK VENEER IF APPLICABLE

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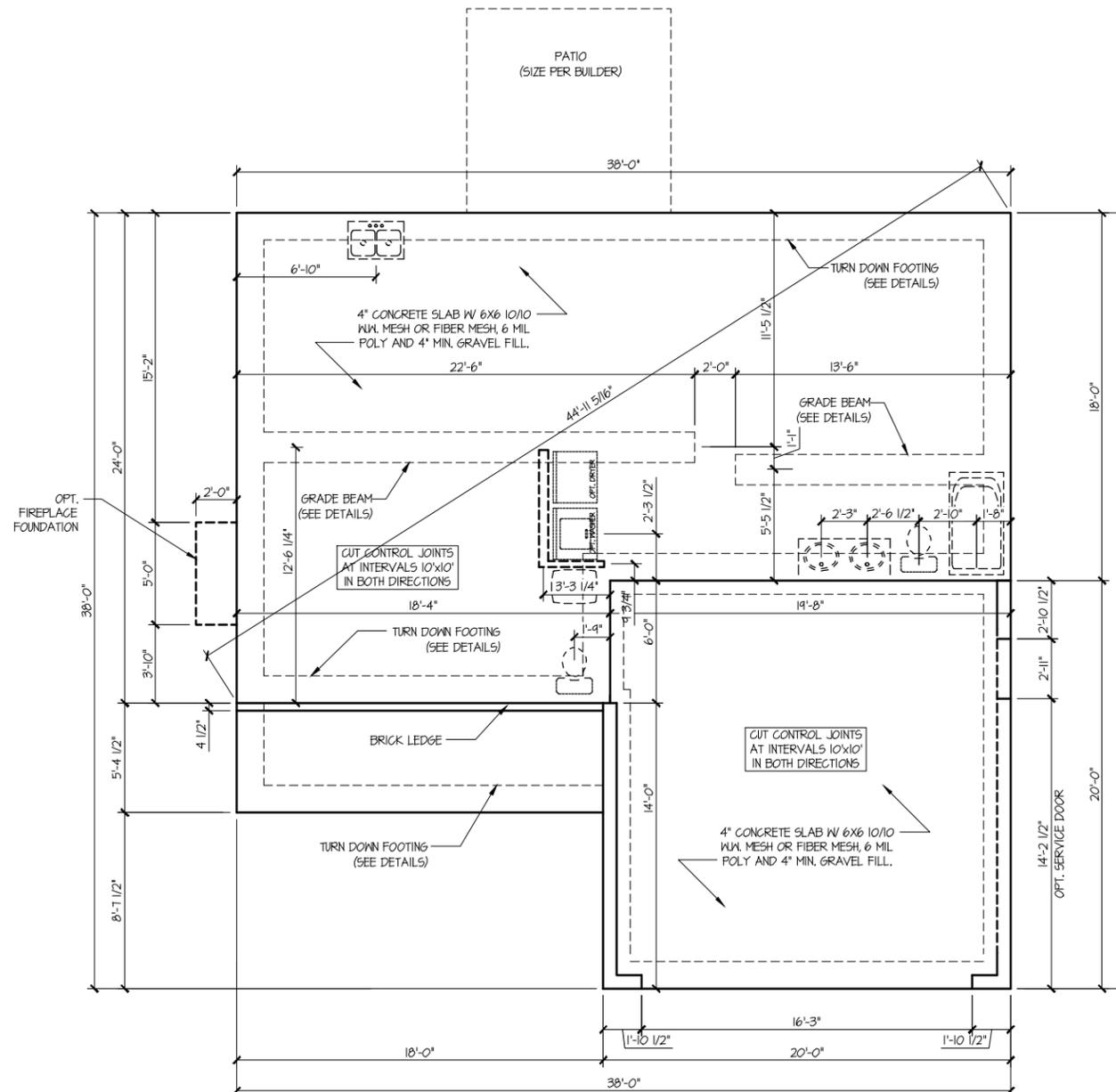
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WALLS:

24.1 PSF - WALLS



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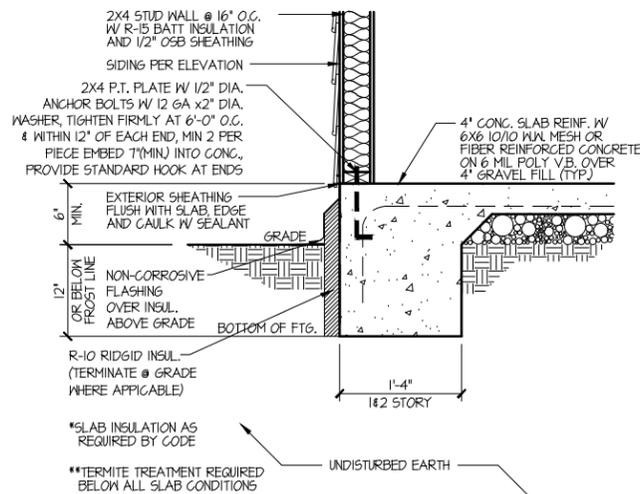
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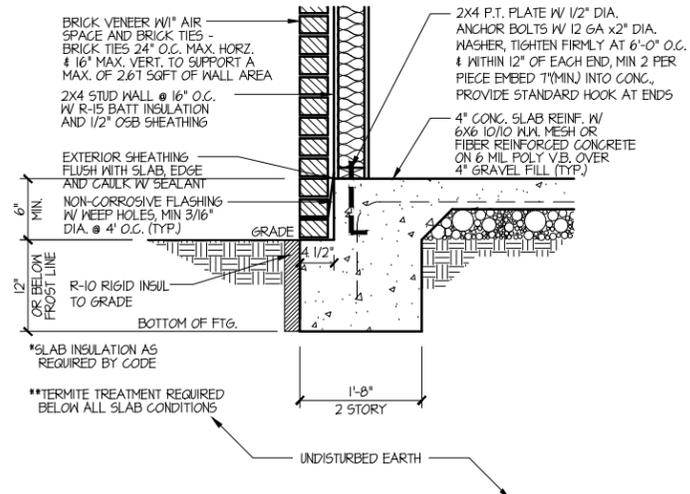
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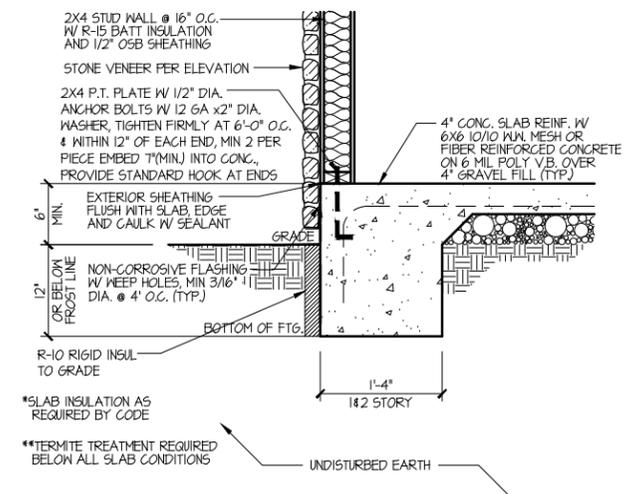
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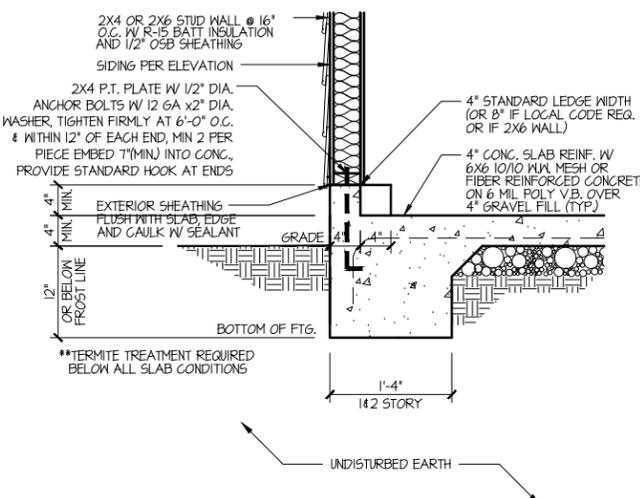
1 MONO @ HOUSE W/ SIDING



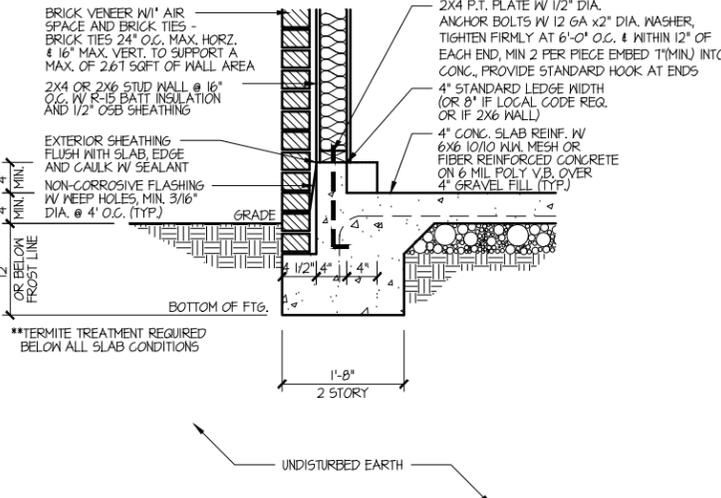
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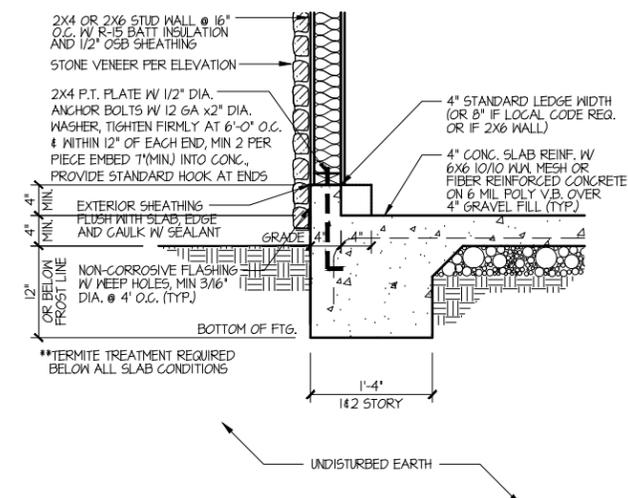
3 MONO @ HOUSE W/ STONE



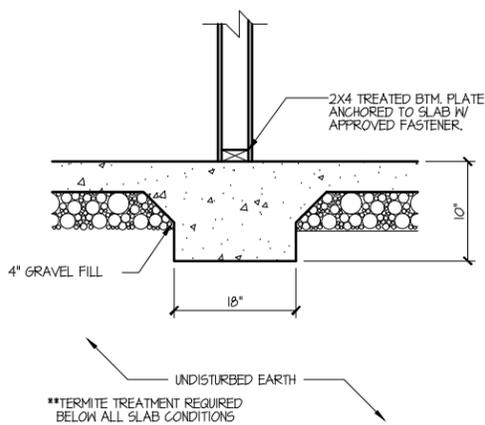
4 MONO @ GARAGE W/ SIDING



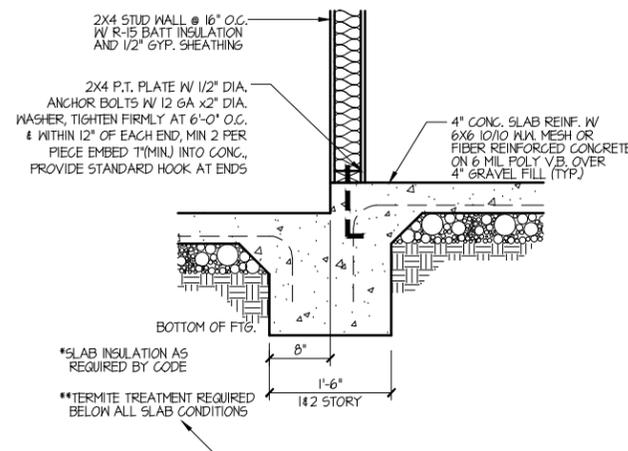
5 MONO @ GARAGE W/ BRICK



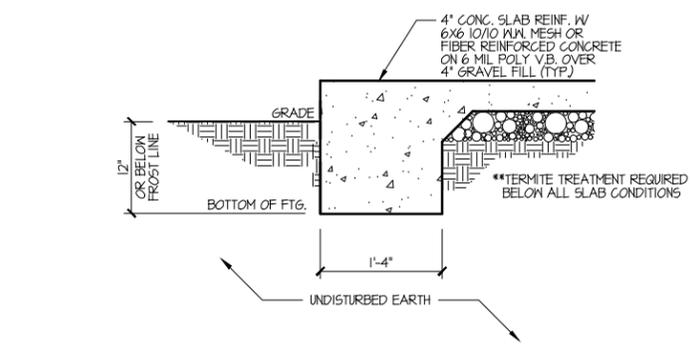
6 MONO @ GARAGE W/ STONE



7 THICKENED SLAB



8 MONO @ HOUSE/GARAGE



9 PORCH TURN DOWN

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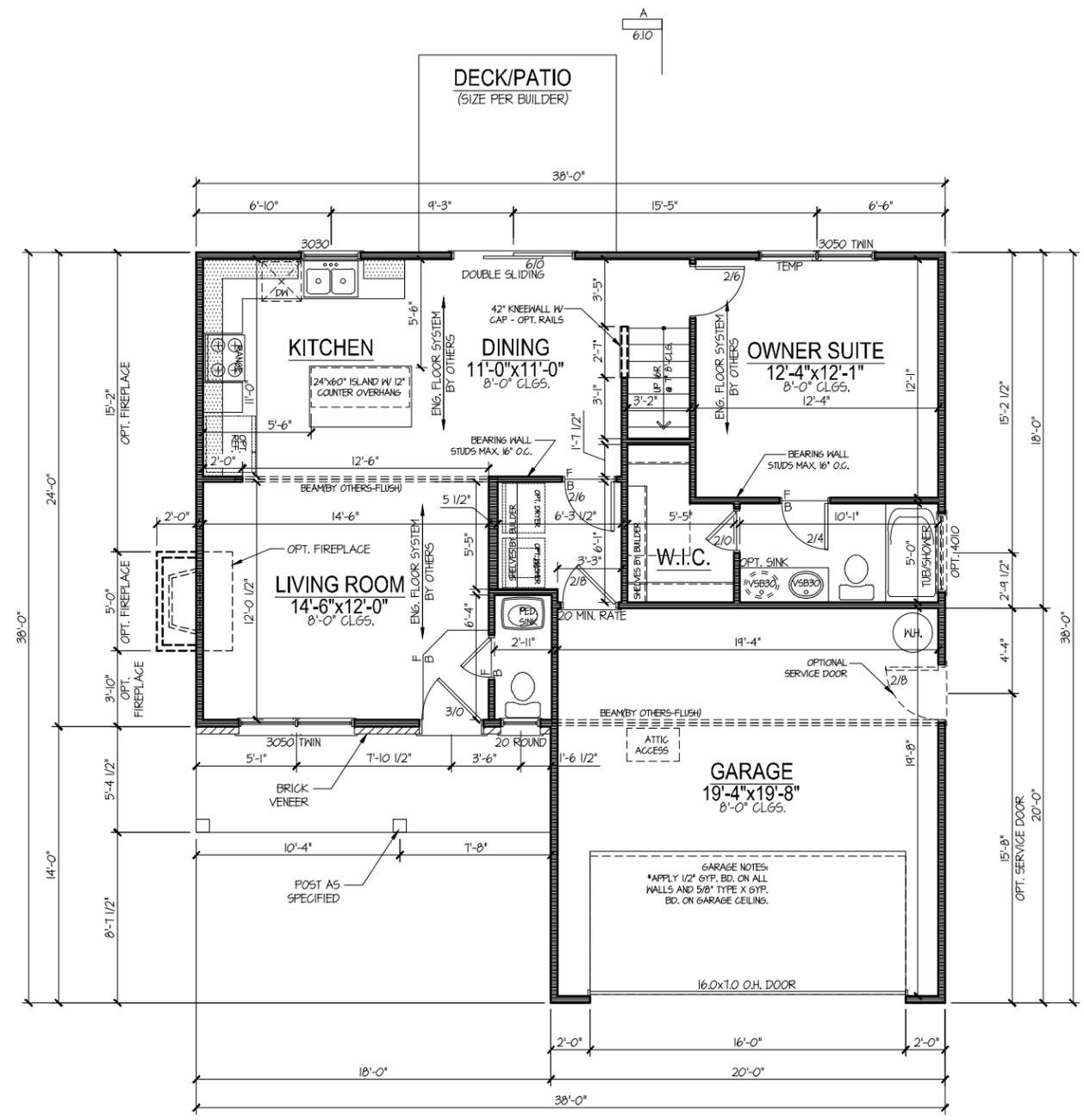
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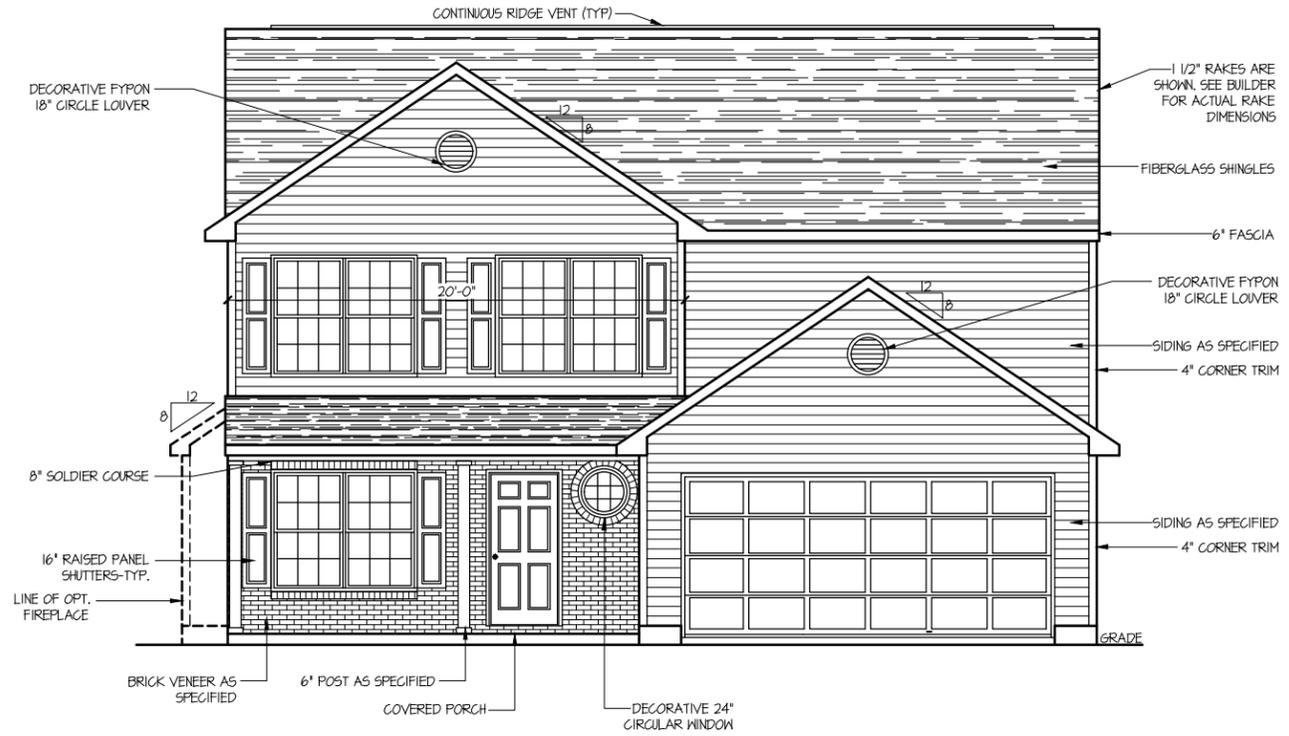
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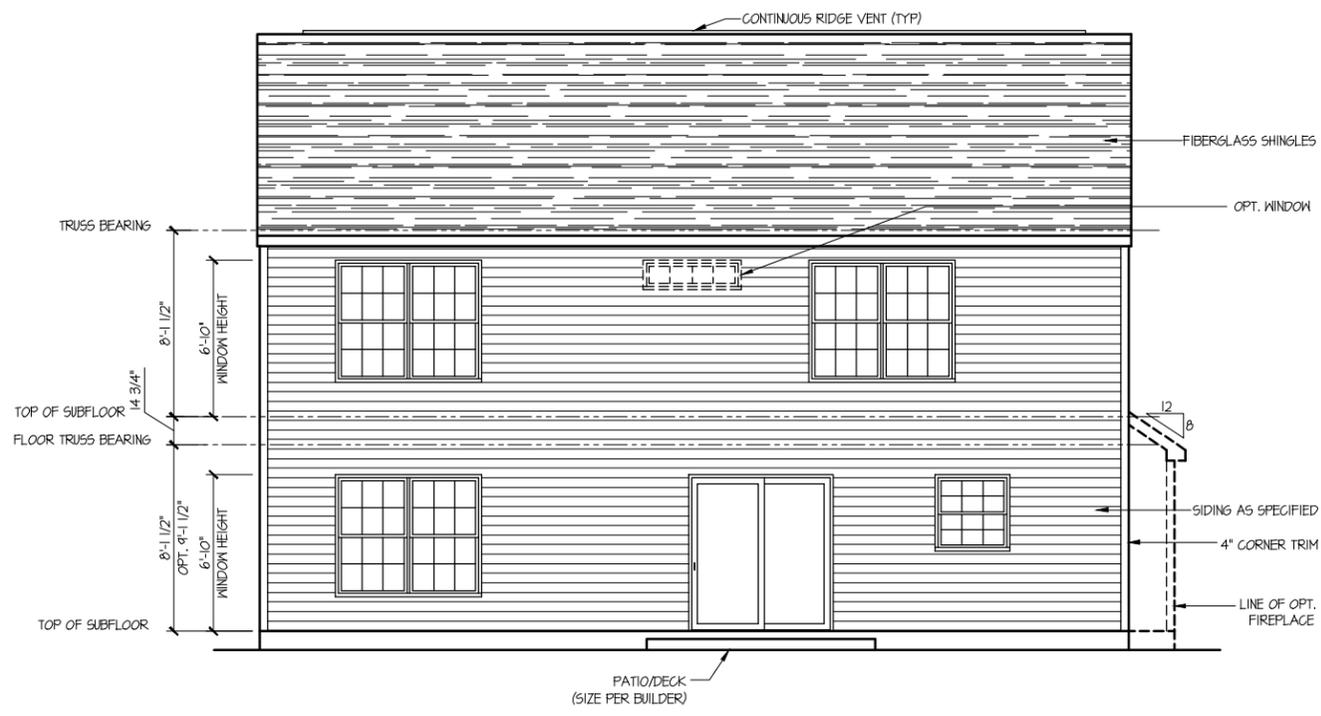
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* MEAN ROOF HEIGHT: 21'-7"

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BPS (www.plansinc.com) - GENERAL INFORMATION

ALL CONTRACTORS SHALL REVIEW AND VERIFY ALL DIMENSIONS BEFORE BEGINNING ANY WORK.

ALL CONTRACTOR'S CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.

BUILDERS PLANSOURCE, INC. (WWW.PLANSINC.COM) IS NOT RESPONSIBLE FOR FINISHED RESIDENCE MEETING YOUR LOCAL CODES. ANY CONSTRUCTION DETAILS THAT ARE NOT SPECIFICALLY SHOWN IN THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH GENERAL FRAMING PRACTICES THAT WOULD BE FOUND IN SIMILAR CONDITIONS AND MATERIALS.

ALL STRUCTURAL COMPONENTS INCLUDING, BUT NOT LIMITED TO, SOLID HEADERS, BEAMS, HIP RAFTERS, VALLEY RAFTERS, GIRDERS, PIERS, JOISTS, BEARING WALLS, ETC. SHALL BE SIZED AND/OR SPECIFIED IN ACCORDANCE WITH CURRENT STATE AND LOCAL BUILDING CODES. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HIRE/APPOINT A REGISTERED ENGINEER TO SPECIFY SUCH COMPONENTS. BUILDERS PLAN SOURCE, INC. (WWW.PLANSINC.COM) HAS PROVIDED A DRAFTING SERVICE ONLY AND SHALL NOT BE HELD LIABLE FOR STRUCTURAL COMPONENTS FOUND WITHIN PLANS.

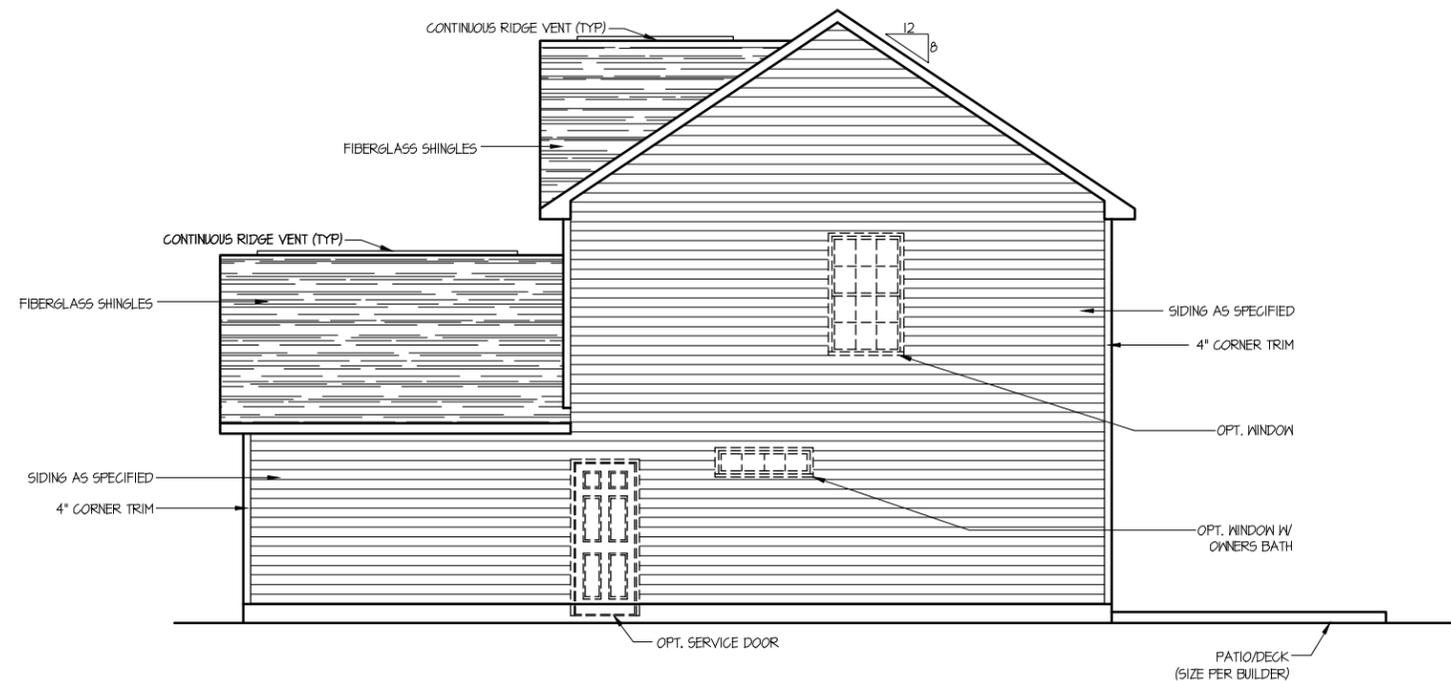
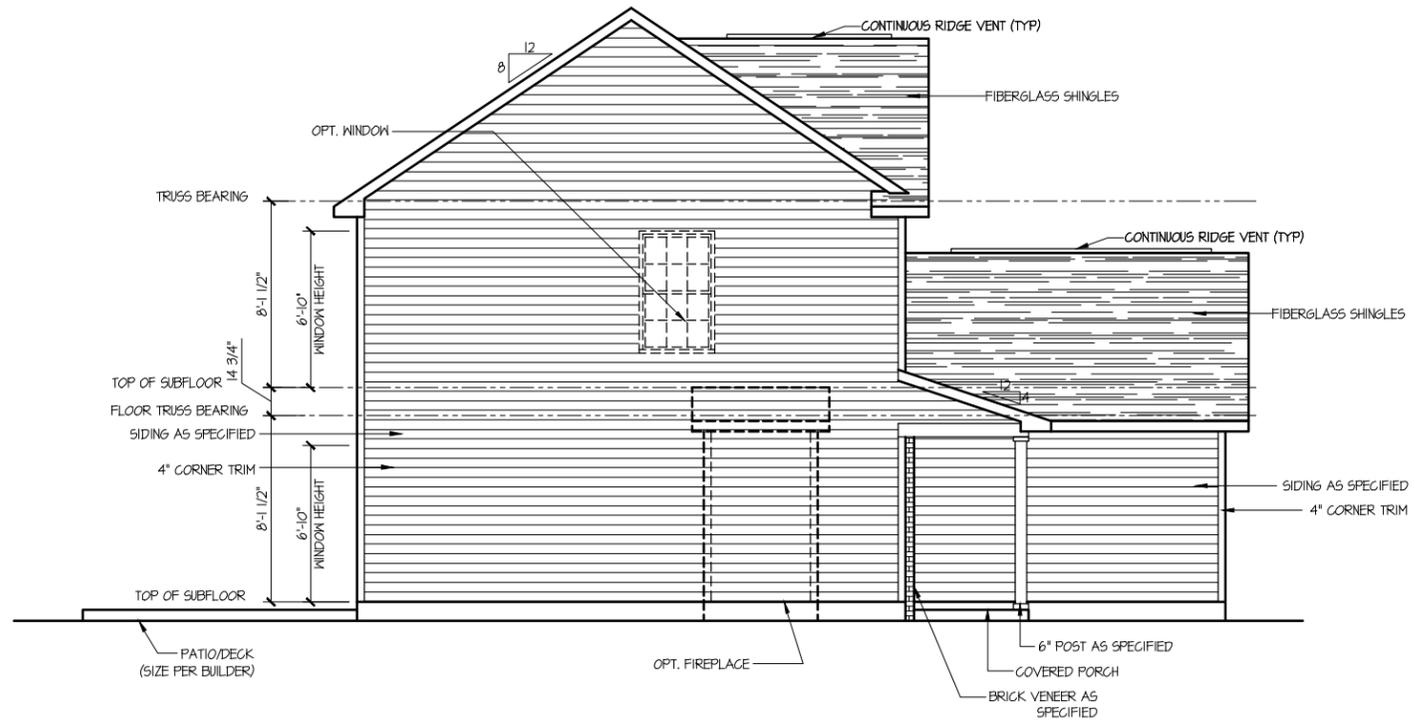
SOME FINISHED MATERIALS SUCH AS FLOOR COVERINGS, WALL COVERINGS, AND ANY RELATED TRIM WORK MAY NOT BE FOUND IN THESE PLANS, THESE ITEMS ARE TO BE DETERMINED BY THE BUILDER.

ALL INTERIOR WALLS ARE TO BE MEASURED AT 3 1/2" UNLESS NOTED OTHERWISE. EXTERIOR WALLS ARE 4" UNLESS OTHERWISE NOTED.

THIS RESIDENCE IS NOT DESIGNED FOR A SPECIFIC LOT/GRADE CONDITION. IT IS THE BUILDER'S RESPONSIBILITY TO MAKE SURE FOUNDATION WALLS, POSITIVE DRAINAGE, AND GRADING ARE COMPLETED AND/OR INSTALLED IN ACCORDANCE WITH CURRENT STATE AND LOCAL BUILDING CODES.

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LEFT AND RIGHT ELEVATIONS

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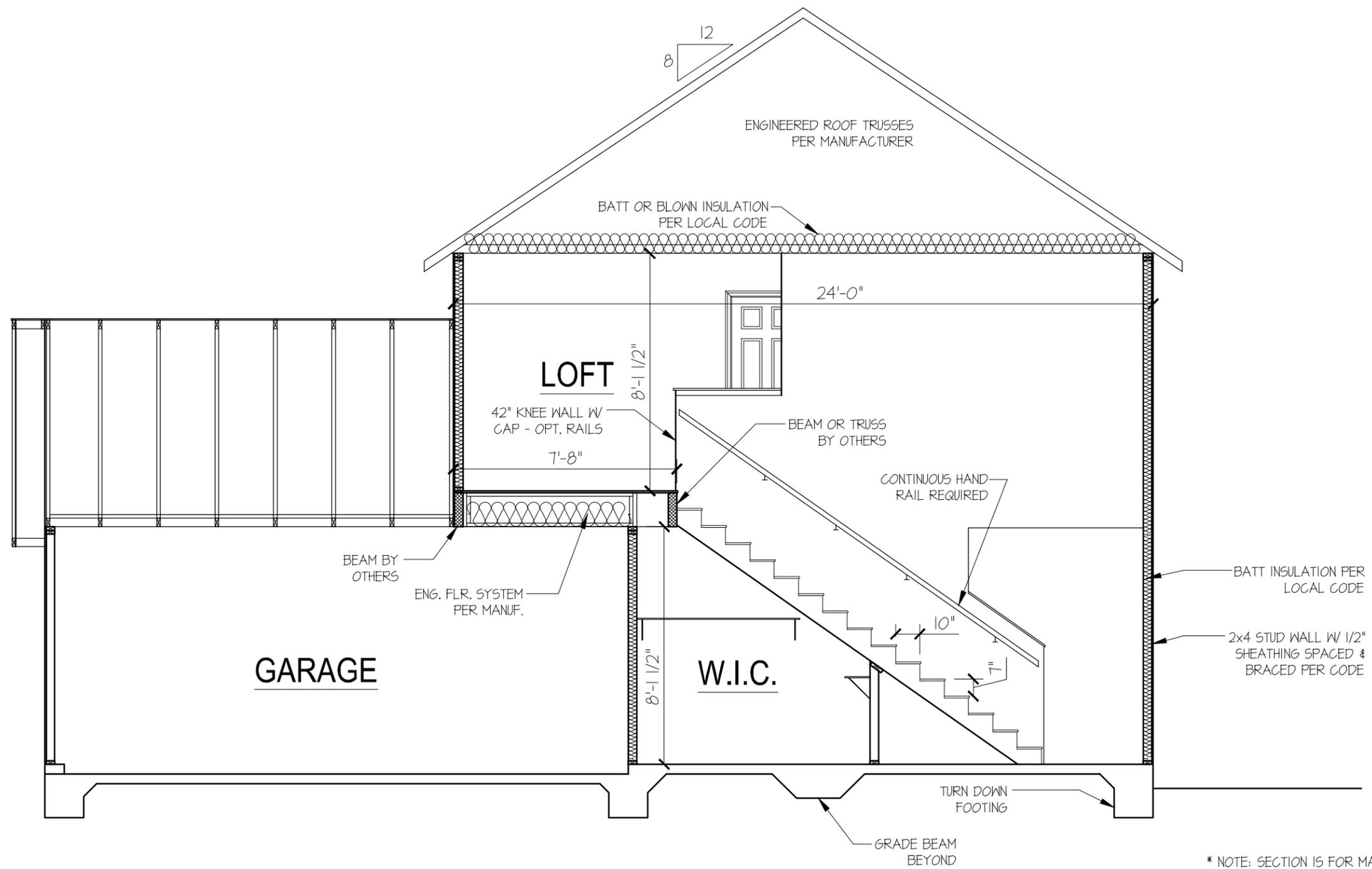
BUILDER
JLJ SERVICES, LLC
PO BOX 537
PAGELAND, SC 29728
843-337-8286

OWNER:
PLAN NAME:
MV381695 RH
Elevation D

ISSUE DATE:
2020-07-16
REVISION DATE:

DRAWN BY:
JHM
CHECKED BY:
JUT
STANDARD SCALE:
1/8" = 1'-0"
2264-1/4"-0"

SHEET NUMBER
5.11



A
6.10

BUILDING SECTION

* NOTE: BUILDING SECTION IS DRAWN AS SLAB ON GRADE BY DEFAULT. BUILDER MUST ADJUST FOR CRAWL SPACES OR BASEMENTS AS REQUIRED PER LOCAL CODES.

* NOTE: SECTION IS FOR MAIN HOUSE AREA ONLY. FRONT EXTERIOR WALL COVERINGS, PORCHES, ETC., MAY VARY PER ELEVATION

NOTES

DESIGN LOADS (R301.4)	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
ROOMS OTHER THAN SLEEPING ROOMS	40	10	L/360
SLEEPING ROOMS	30	10	L/360
ATTIC WITH STORAGE	20	10	L/240
ATTIC WITH OUT STORAGE	10	10	L/360
STAIRS	40	--	L/360
EXTERIOR BALCONIES	60	10	L/360
DECKS	40	10	L/360
GUARDRAILS AND HANDRAILS	200	--	--
PASSENGER VEHICLE GARAGES	50	10	L/360
FIRE ESCAPES	40	10	L/360
SNOW	20	--	----
WIND LOAD	(BASED ON LOCATION)		

FOR WALL BRACING REQUIREMENTS REFER TO SECTION R602.10 OF THE NORTH CAROLINA STATE RESIDENTIAL CODE - 2018 EDITION (I.N.O.)
 LATERAL BRACING SHALL BE SATISFIED BY CONTINUOUSLY SHEATHING WALLS WITH STRUCTURAL SHEATHING INSTALLED PER TABLE R602.10.3. NOTE THAT ANY SPECIFIC BRACED WALL DETAIL SHALL BE INSTALLED AS SPECIFIED.

CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (I.N.O.). AIR ENTRAINMENT PER TABLE 402.2

ALL FRAMING LUMBER SHALL BE SPF #2 (Fb = 875 PSI) UNLESS NOTED OTHERWISE (I.N.O.).

ALL WOODEN BEAMS AND HEADERS SHALL HAVE THE FOLLOWING END SUPPORTS: (1) 2x4 STUD COLUMN FOR 6'-0" MAX. BEAM SPAN, MINIMUM (2) STUDS FOR BEAM SPAN GREATER THAN 6'-0" (I.N.O.). ALL BEARING HEADERS AND HEADERS OVER 6'-0" IN LENGTH SHALL BE (2) 2x10'S (I.N.O.). SEE PLAN FOR SPECIFIC BEAM SIZES

L.V.L. SHALL BE LAMINATED VENEER LUMBER OR PARALLEL STRAND LUMBER (PSL) WITH THE FOLLOWING PROPERTIES: Fb = 2800 PSI, Fv = 285 PSI, E = 1,900,000 PSI.

INSTALL ALL CONNECTIONS PER MANUFACTURERS INSTRUCTIONS.

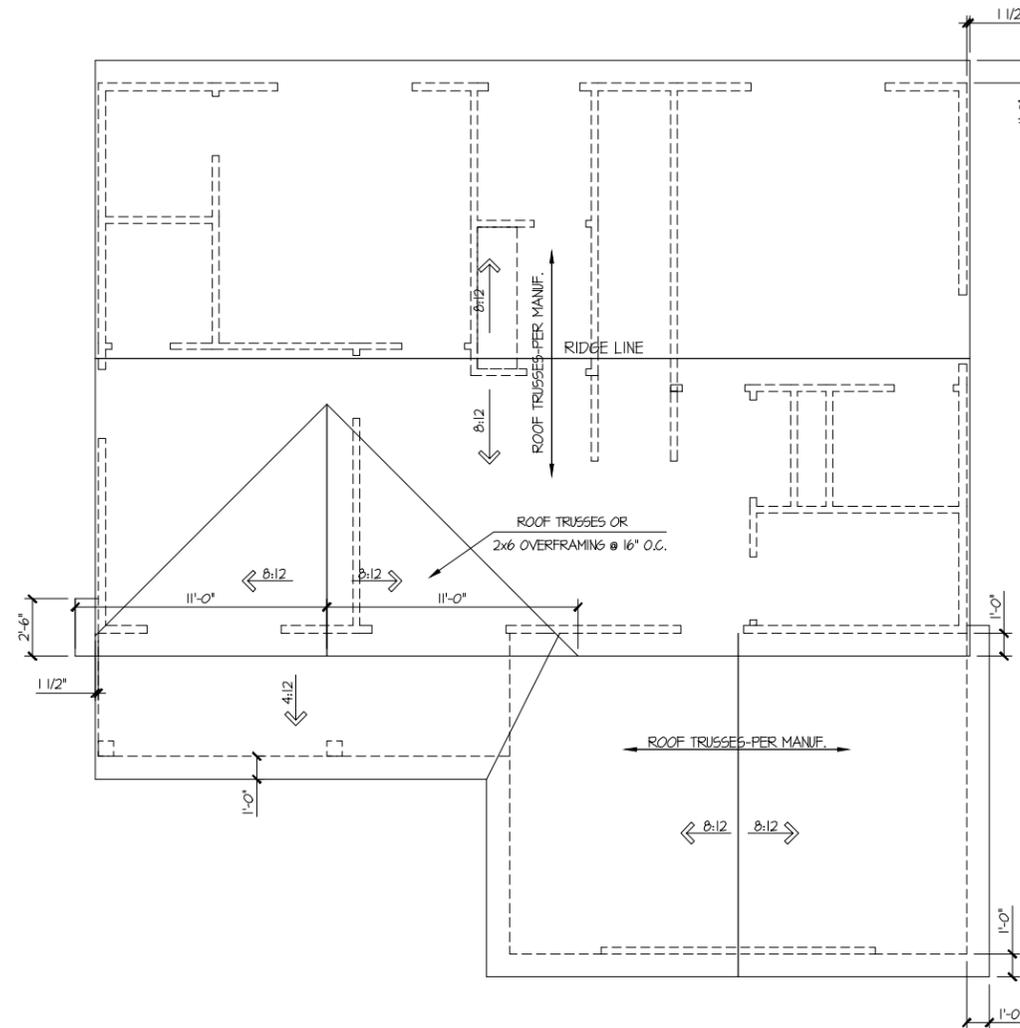
BRICK LINTELS SHALL BE 3 1/2"x3 1/2"x1/4" STEEL ANGLE FOR UP TO 6'-0" SPAN AND 6"x4"x5/16" STEEL ANGLE WITH 6" LEG VERTICAL FOR SPANS UP TO 9'-0" (I.N.O.).

THE POSITIVE AND NEGATIVE DESIGN PRESSURE FOR DOORS AND WINDOWS FOR A MEAN ROOF HEIGHT OF 35 FEET OR LESS SHALL BE 25 PSF.

THE POSITIVE AND NEGATIVE DESIGN PRESSURES REQUIRED FOR ANY ROOF OR WALL CLADDING APPLICATION NOT SPECIFICALLY ADDRESSED IN THE NC-SRBC-2018 EDITION SHALL BE AS FOLLOWS:

- ROOF:
- 45.4 PSF - 2.25:12 PITCH OR LESS
 - 34.0 PSF - 2.25:12 TO 7:12 PITCH
 - 21 PSF - 7:12 TO 12:12 PITCH

- WALLS:
- 24.1 PSF - WALLS



ATTIC VENTILATION	
1142 SQ.FT. OF CLG.	R300 = 4.0 REQ.
125 SQ.FT. PER FT. 52'-3" x 125 = (6.5)	
60 FFIT VENT = .062 SQ.FT. PER FT. 80'-4" x .062 = (5.0)	
TOTAL SQ.FT. VENTILATION PROVIDED (11.5)	

ROOF PLAN

BUILDERS PLAN SOURCE
 PO Box 836
 King, North Carolina 27021
 Phone: 336.985.0363

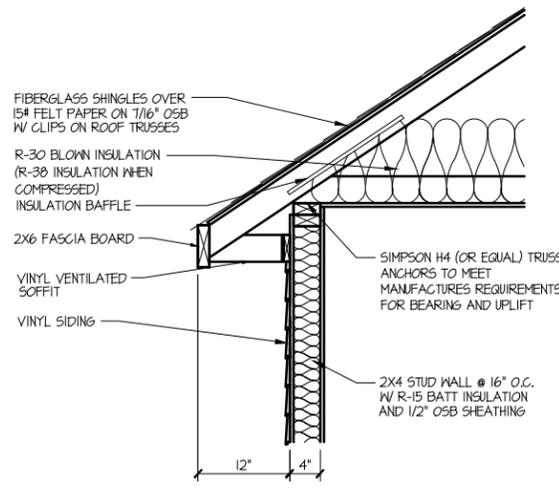
BUILDER
JLJ SERVICES, LLC
 PO BOX 537
 PAGELAND, SC 29728
 843-337-8286

OWNER
PLAN NAME
MV381695 RH
Elevation D

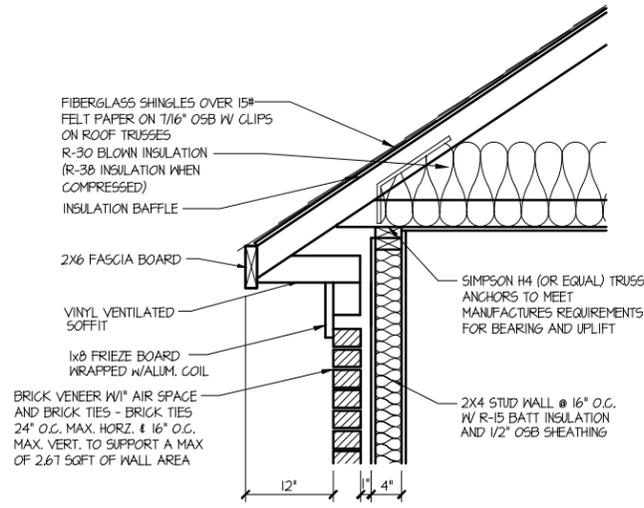
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 22684-1/4-1'-0"

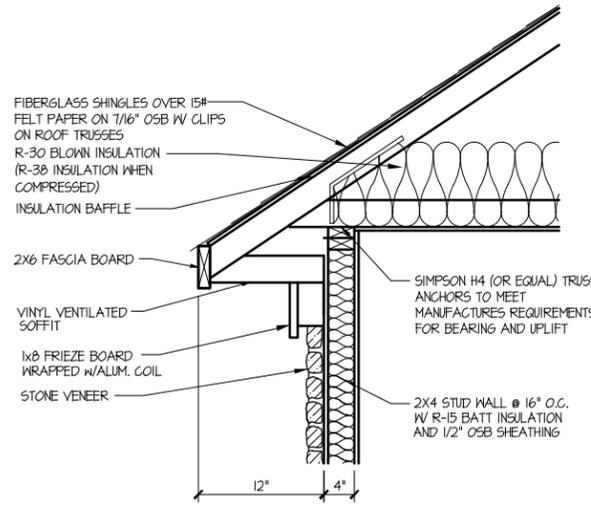
SHEET NUMBER
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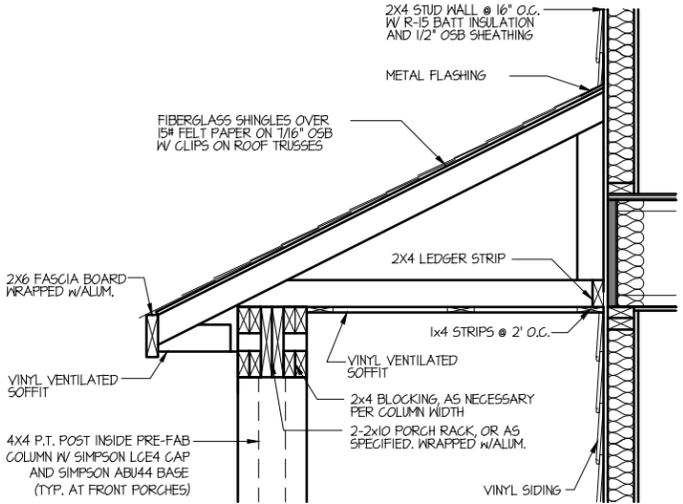
1 CORNICE W/ SIDING



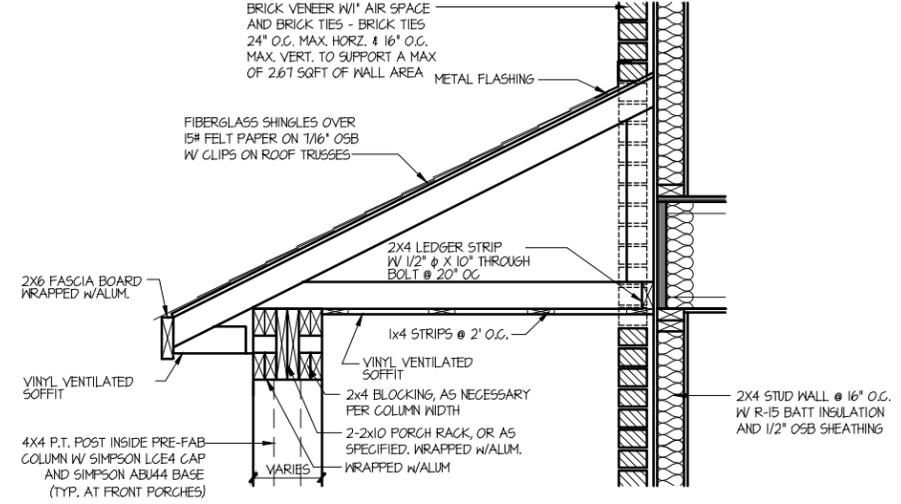
2 CORNICE W/ BRICK



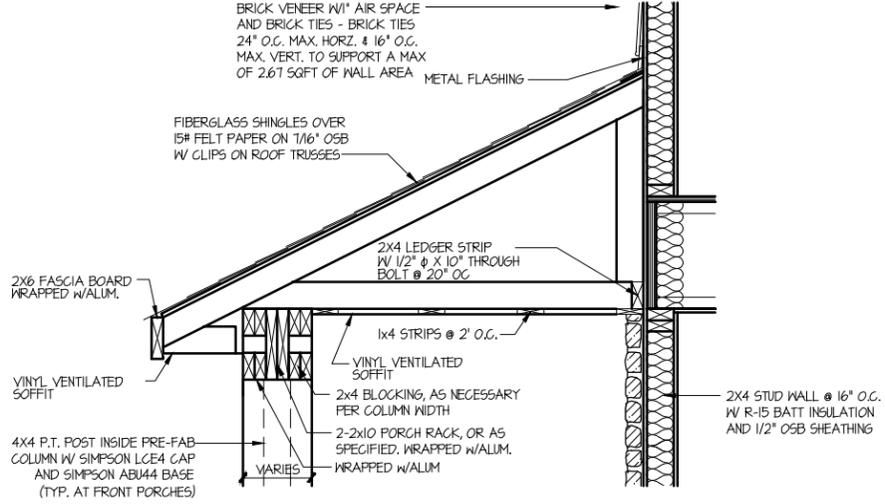
3 CORNICE W/ STONE



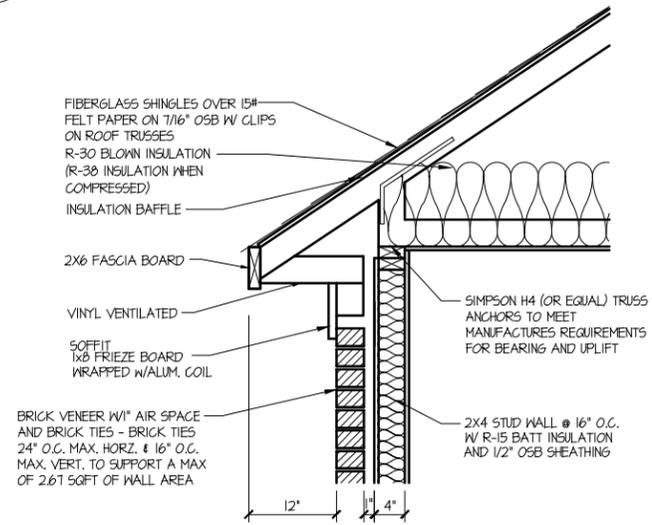
4 SHED PORCH RACK W/ SIDING



5 SHED PORCH RACK W/ BRICK



6 SHED PORCH RACK W/ STONE

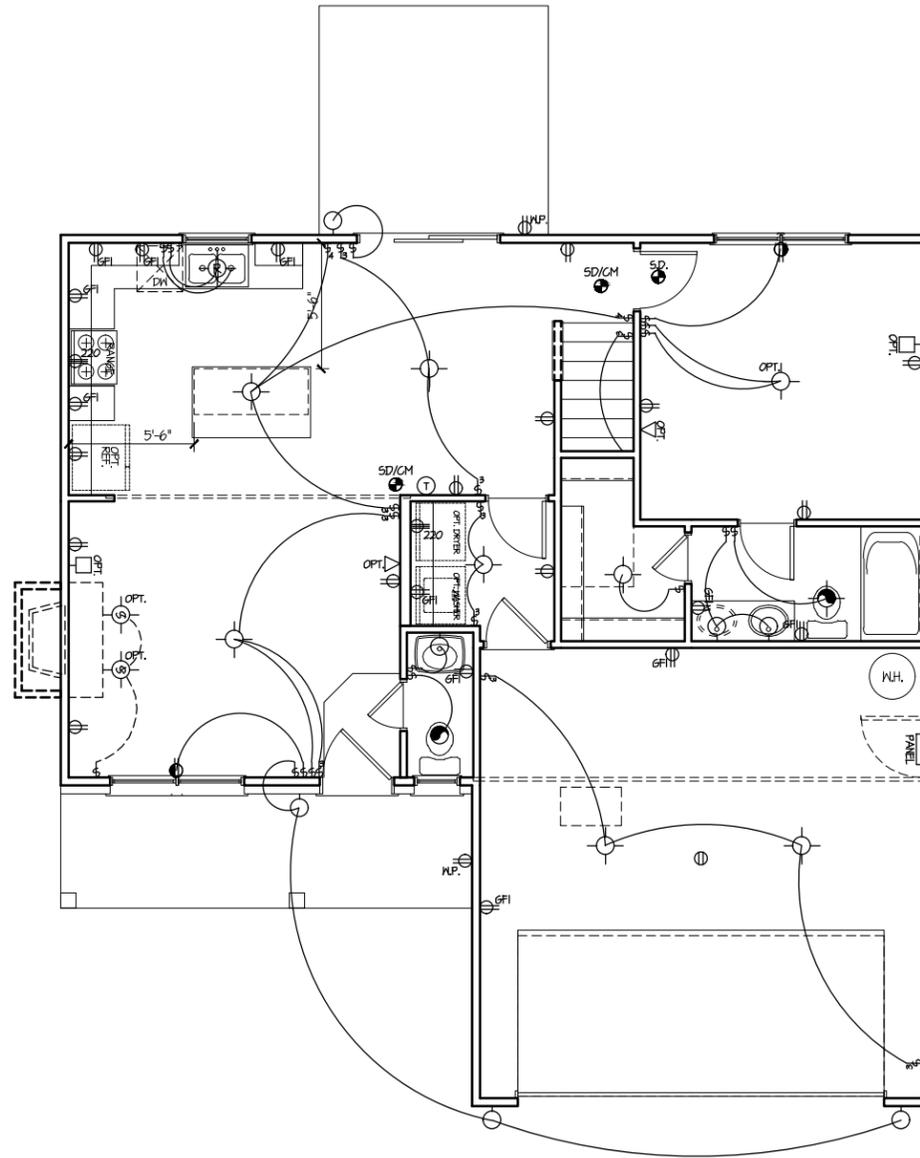


7 CORNICE W/ BRICK & 5\"/>

ELECTRICAL LEGEND	
DESCRIPTION	
Ⓢ	SINGLE POLE SWITCH
Ⓢ	THREE-WAY SWITCH
Ⓢ	FOUR-WAY SWITCH
Ⓢ	DUPLEX RECEPTACLE
Ⓢ	SPLIT-WIRED DUPLEX RECEPTACLE
Ⓢ	WATERPROOF RECEPTACLE
Ⓢ	GROUND FAULT DUPLEX RECEPTACLE
Ⓢ	220 RECEPTACLE
Ⓢ	CEILING DUPLEX RECEPTACLE
Ⓢ	FLOOR DUPLEX RECEPTACLE
Ⓢ	TELEPHONE
Ⓢ	CEILING FIXTURE
Ⓢ	SCORCE/MALL LIGHT
Ⓢ	RECESSED LIGHT
Ⓢ	RECESSED SPOT LIGHT
Ⓢ	CABLE TELEVISION
Ⓢ	SMOKE DETECTOR; SMOKE/CARBON MONOXIDE DET.
Ⓢ	EXHAUST FAN
Ⓢ	EXHAUST FAN W/ LIGHT
Ⓢ	THERMOSTAT
Ⓢ	DOOR CHIME
Ⓢ	ELEC. PANEL BOX
Ⓢ	FLOOD LIGHT
	PANEL

ELECTRICAL LAYOUTS ARE PROVIDED AS A GENERAL GUIDE AND ACTUAL LAYOUT MAY VARY SLIGHTLY. IN ALL CASES THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH LOCAL, STATE, AND NATIONAL CODES.

NOTE: OVERHEAD LIGHTS, PHONE OUTLETS, TV CABLE OUTLETS AND RECESSED LIGHTING MAY NOT BE INCLUDED STANDARD BY THE BUILDER. PLEASE CONSULT WITH THE BUILDER TO DETERMINE WHAT APPLICABLE STANDARDS APPLY IN THIS HOME.



FIRST FLOOR
ELECTRICAL PLAN

BUILDERS
PLAN SOURCE

PO Box 836
King, North Carolina 27021
Phone: 336.985.0363

BUILDER
JLJ SERVICES, LLC

PO BOX 537
PAGELAND, SC 29728
843-337-8286

OWNER

PLAN NAME
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Elevation D**

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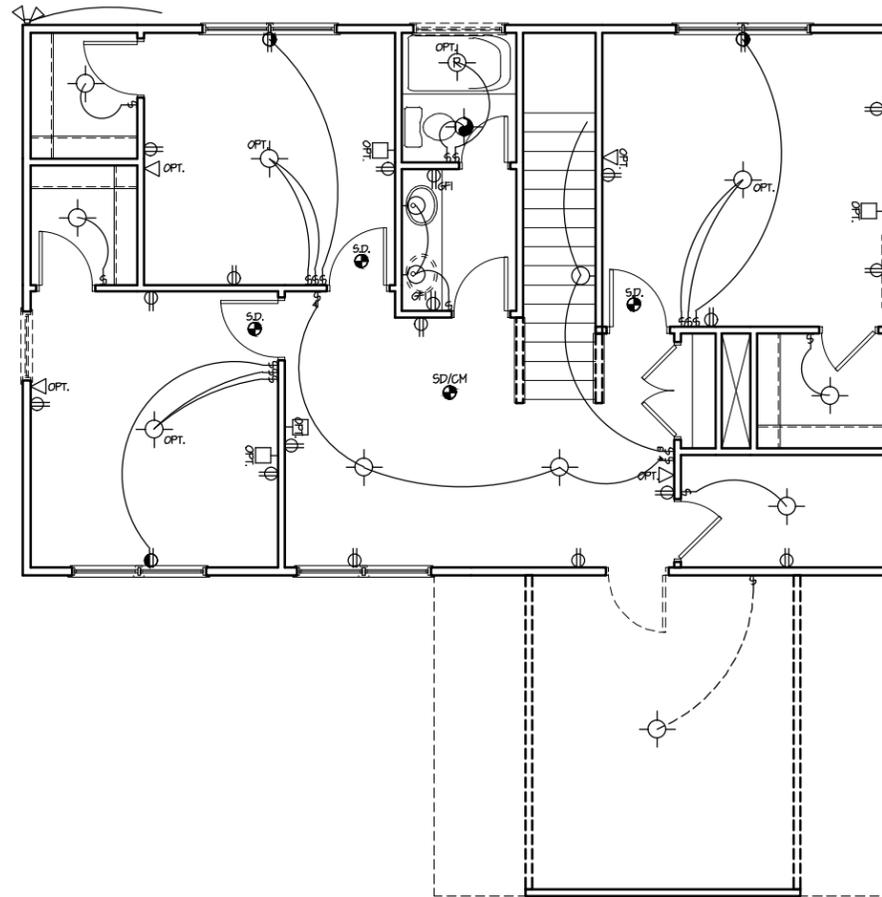
STANDARD SCALE:
1/8"=1'-0"
22684-1/4"-1'-0"

SHEET NUMBER
8.10

ELECTRICAL LEGEND	
DESCRIPTION	
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Ⓢ	THREE-WAY SWITCH
Ⓢ	FOUR-WAY SWITCH
Ⓢ	DUPLEX RECEPTACLE
Ⓢ	SPLIT-WIRED DUPLEX RECEPTACLE
Ⓢ	WATERPROOF RECEPTACLE
Ⓢ	GROUND FAULT DUPLEX RECEPTACLE
Ⓢ	220 RECEPTACLE
Ⓢ	CEILING DUPLEX RECEPTACLE
Ⓢ	FLOOR DUPLEX RECEPTACLE
Ⓢ	TELEPHONE
Ⓢ	CEILING FIXTURE
Ⓢ	SCONCE/WALL LIGHT
Ⓢ	RECESSED LIGHT
Ⓢ	RECESSED SPOT LIGHT
Ⓢ	CABLE TELEVISION
Ⓢ	SMOKE DETECTOR; SMOKE/CARBON MONOXIDE DET.
Ⓢ	EXHAUST FAN
Ⓢ	EXHAUST FAN W/ LIGHT
Ⓢ	THERMOSTAT
Ⓢ	DOOR CHIME
Ⓢ	ELEC. PANEL BOX
Ⓢ	FLOOD LIGHT

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SECOND FLOOR
ELECTRICAL PLAN

BUILDERS
PLAN SOURCE

PO Box 836
King, North Carolina 27021
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BUILDER
JLJ SERVICES, LLC

PO BOX 537
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